



CITY OF CANNON BEACH

BEFORE THE DESIGN REVIEW BOARD OF THE CITY OF CANNON BEACH

IN THE MATTER OF A DESIGN REVIEW APPLICATION FOR
EXTERIOR RENOVATIONS TO THE CANNON BEACH
CONFERENCE CENTER AT 289 N. SPRUCE ST, PROPERTY
DESCRIPTION: MAP 51020CC, TAX LOT 100.
ZONE: RM

FINDINGS OF FACT,
CONCLUSIONS, AND
ORDER DRB 24-06

APPLICANT: David Bissett Architect PC
4788 Sheridan Dr.
Gearhart, OR 97138

David Bissett, on behalf of the Cannon Beach Conference Center, requested design review for exterior renovations to the Haven Building at 289 N. Spruce St. The application was reviewed against the criteria of Municipal Code, Chapter 17.44.080-17.44.100, Design Review Criteria.

The public hearing on the above-entitled matter was held before the Design Review Board on 3/21/2024 and the Design Review Board closed the public hearing and a decision was made at that meeting.

THE DESIGN REVIEW BOARD ORDERS that the application for the exterior renovations to the Haven Building of the Cannon Beach Conference Center is APPROVED WITH CONDITIONS and adopts the findings of fact, conclusions and conditions contained in the Findings of Fact and Conclusions of Law attached to this document. The effective date of this Order is 14 days following the signing of the Order.

This decision may be appealed to the City Council by an affected party by filing an appeal with the City Manager within 14 days of this date.

CANNON BEACH DESIGN REVIEW BOARD

DATED: 3/28/2024

DocuSigned by:
David Doering
72F6B6CD11F041C...

David Doering, Chair



CANNON BEACH COMMUNITY DEVELOPMENT

163 E. GOWER ST.

PO Box 368

CANNON BEACH, OR 97110

Cannon Beach Design Review Board

Findings of Fact and Conclusions of Law

DRB 24-06, DAVID BISSETT, APPLICANT, ON BEHALF OF CANNON BEACH CONFERENCE CENTER FOR EXTERIOR ALTERATIONS TO THE HAVEN BUILDING. THE PROPERTY IS LOCATED AT 289 N. SPRUCE ST. (TAXLOT 100, MAP 51020CC) IN A RESIDENTIAL MOTEL (RM) ZONE. THE APPLICATION WILL BE REVIEWED AGAINST THE CRITERIA OF MUNICIPAL CODE CHAPTER 17.44.080 – 17.44.100, DESIGN REVIEW CRITERIA.

Agenda Date: March 21, 2024

EXHIBITS

The following Exhibits are attached hereto as referenced.

“A” Exhibits – Application Materials

- A-1** Design Review Application DRB#24-06, submitted February 26, 2024;
- A-2** Project Narrative, submitted February 26, 2024;
- A-3** Project Schematics, submitted February 26, 2024;
- A-4** Materials Information, submitted February 26, 2024

“C” Exhibits – Cannon Beach Supplements

- C-1** DRB 24-06 Completeness Determination Letter, dated March 1, 2024;

SUMMARY & BACKGROUND

The proposed project consists of making structural modifications to the Haven Building of the Canon Beach Conference Center. The first upgrade involves the Office/Registration entry, this will include exchanging the location of doors and windows serving this space, adding a gabled roof extension, and adding new accent shingle siding around the new entry doors. The second upgrade will consist of improvements to the Coach House coffee area and its sunroom. This work will be limited to improvements to doors and windows in that area. Additional work such as interior and electrical upgrades will also be part of this project.

APPROVAL CRITERIA

17.44 Design Review Standards and Requirements.

17.44.090 Architectural Design Evaluation Criteria.

The Design Review Board finds that the application consists of two parts: changes to entry area and check in offices of the Haven Building shown on Sheet A2.1 of Exhibit C-3 and changes to fenestration of the Haven Building-Coach House where windows would be replaced with doors as shown on Sheet A2.2 of Exhibit C-3.

The Board finds that the first part of this application meets the applicable criteria of the Municipal Code.

The Board finds that the second part of the application has been modified to remove landscaping changes including the installation of a new terrace which the proposed doors would open on to. The applicant's intent was to have the changes in landscaping reviewed separately in a different application. The Board was unable to find that the revised proposal, consisting only of replacing windows with exit doors, would satisfy the applicable criteria of the Municipal Code and requested that additional information be provided by the applicant regarding the proposed improvement and any landscaping changes that may be necessitated by this change.

DECISION AND CONDITIONS

Architectural

Motion: Having considered the evidence in the record and upon a motion by Board member Ramey, seconded by Board member Valigura, the Cannon Beach Design Review Board voted to approve the architectural plan of the David Bissett application to for the Cannon Beach Conference Center Haven Building project at 289 N. Spruce St., DRB 24-06, as discussed at this public hearing subject to the following conditions:

1. The work approved by this decision is limited to the Haven Building entry upgrades shown on Sheet A2.1 of Exhibit A-3.
2. The proposed changes to fenestration at the Haven Building-Coach House shown on Sheet A2.2 of Exhibit A-3 are not approved by this decision and require further review by the Design Review Board.

Notice of Approval

17.44.140 Final approval expiration.

The final approval of a design review plan shall be void after one year of the date of approval unless a building permit has been obtained. (Ord. 90-3 § 15)



CITY OF CANNON BEACH

City of Cannon Beach
Finance Department

FEB 26 2024

Received

DESIGN REVIEW BOARD APPLICATION

Please fill out this form completely. Please type or print.

Applicant Name: DAVID BISSETT ARCHITECT PC
 Mailing Address: 4788 SHERIDAN DRIVE
GEARHART, OR. 97138
 Email Address: DAVIDB@DBARCHT.COM
 Telephone: 503.341.4445

Property-Owner Name: CANNON BEACH CONFERENCE CENTER (CBC)
 (if other than applicant)
 Mailing Address: 289 N. SPRUCE
CANNON BEACH, OR. 97110
 Telephone: 503.436.8053
 Property Location: N. SPRUCE & THIRD ST.
 (street address)
 Map No.: SEE SURVEY INFO. SUBMITTED.

Project Description:

SEE ATTACHED STATEMENT OF INTENT.

Please see the back of this sheet for Design Review submittal requirements for site analysis diagram, site development plan, landscape plan and architectural plans which must be included with this application.

Application Fees: Minor Modification: \$50
 Major Modification, partial review: \$200
 Major Modification, full review: \$600

Applicant Signature: [Signature] Date: 2-24-24
 Property Owner Signature: [Signature] Date: 2-24-24

If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf. Please attach the name, address, phone number, and signature of any additional property owners.

For Staff Use Only:

City of Cannon Beach
Finance Department

FEB 26 2024

Received on: _____ By: _____
 Fee Paid: _____ Receipt No.: _____

(Last revised March 2021)

PO Box 368 Cannon Beach, Oregon 97110 • (503) 436-8042 • TTY (503) 436-8097 • FAX (503) 436-2050

www.ci.cannon-beach.or.us • planning@ci.cannon-beach.or.us



STATEMENT OF INTENT

DESIGN REVIEW APPLICATION

Cannon Beach Conference Center

289 N. Spruce St. Cannon Beach, OR. 97110

February 24, 2024

Overview:

The proposed design is limited to specific exterior and interior improvements to the existing Haven Building at Cannon Beach Conference Center (CBCC) located at 289 N. Spruce St., Cannon Beach, OR. 97110. The work scope is divided into two areas of the Haven Building.

First, are minor upgrades to the existing Office/Registration Entry facing west towards Spruce and Third Streets. This involves removing some existing windows and replacing them with new fiberglass glass panel double doors, hardware and replacing a single door with a new window. A new gable roof extension at this entry is proposed to both give visual identity, added weather protection and nice entry feature (open frame heavy timber style and details per drawings). Accent shingle siding around the entry doors are proposed. Minor electrical and interior trim and finishes are proposed at the areas of work noted – refer to the design drawings and project information provided. No changes are proposed to existing parking/landscaping/site conditions.

Second, there are minor upgrades to the existing Coach House Coffee area and connecting Sunroom that faces south towards an existing interior landscaped area between other buildings. The coffee and food service is limited to serving conference guests only. This work involves removing some existing windows and installing new fiberglass glass panel doors, hardware and replacing an existing door with a new window. No changes are proposed to existing landscaping/site conditions. There are (4) existing trees and a small planting bed and grass in the area that will remain. There are some minor changes to an existing interior wall and some electrical repairs proposed to the interior of this area – refer to the design drawings and project information provided.

The proposed total cost of the project is expected not to exceed \$200,000 and anticipated to commence as soon as city approvals are completed.

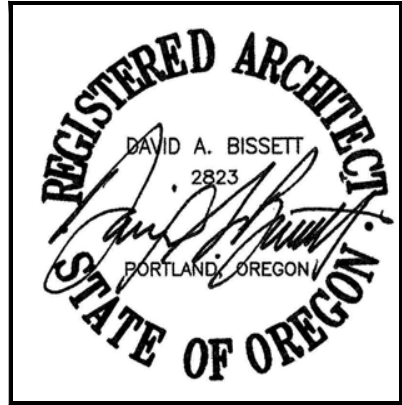
Drawings depicting the proposal are provided. Site plans and drawings include existing buildings, parking and landscaped areas showing the information needed for this limited scope work for this proposal are provided. Tree locations are shown as well as photographs and other pertinent information to explain the proposed work intended. An architectural model and energy conservation measures are not applicable to this proposal. Property Survey information is provided. Planning information is provided on the cover sheet of the drawings. Product information is provided and exterior materials and finishes are noted on the drawings provided.

Respectfully Submitted,
David Bissett Architect PC
AIA / NCARB

CANNON BEACH CONFERENCE CENTER

289 N. SPRUCE

CANNON BEACH, OR 97110



DAVID BISSETT
ARCHITECT PC
503.341.4445 davidb@dbaarch.com
www.DBAarch.com

COVER SHEET
CANNON BEACH
CONFERENCE CENTER
289 N. Spruce
CANNON BEACH, OR 97110

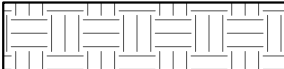

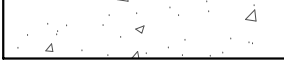
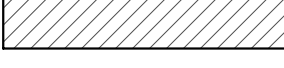
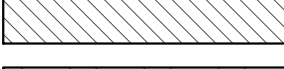
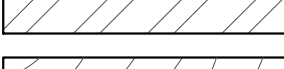
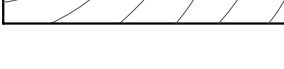
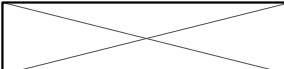


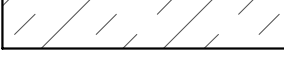
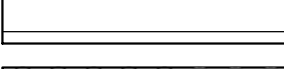

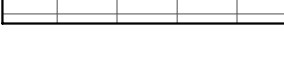


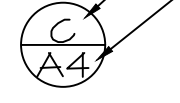
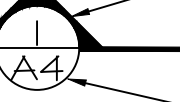
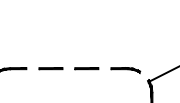

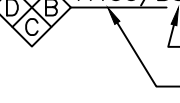






Revisions

Drawn By
TA
Checked By
DB
Project Number

Issue Date
February 19, 2024
Drawing File Name
CBCC
Sheet Number

CS

MATERIALS	
	EARTH
	SAND / MORTAR PLASTER
	CONCRETE
	BRICK / VENEER C.M.U.
	CONCRETE MASONRY UNIT
	METAL
	FINISH WOOD
	WOOD FRAMING (THROUGH MEMBER)
	WOOD BLOCKING (INTERRUPTED MEMBER)
	PLYWOOD
	ACOUSTIC TILE / BOARD
	GYPSUM BOARD
	BATT INSULATION
	RIGID INSULATION

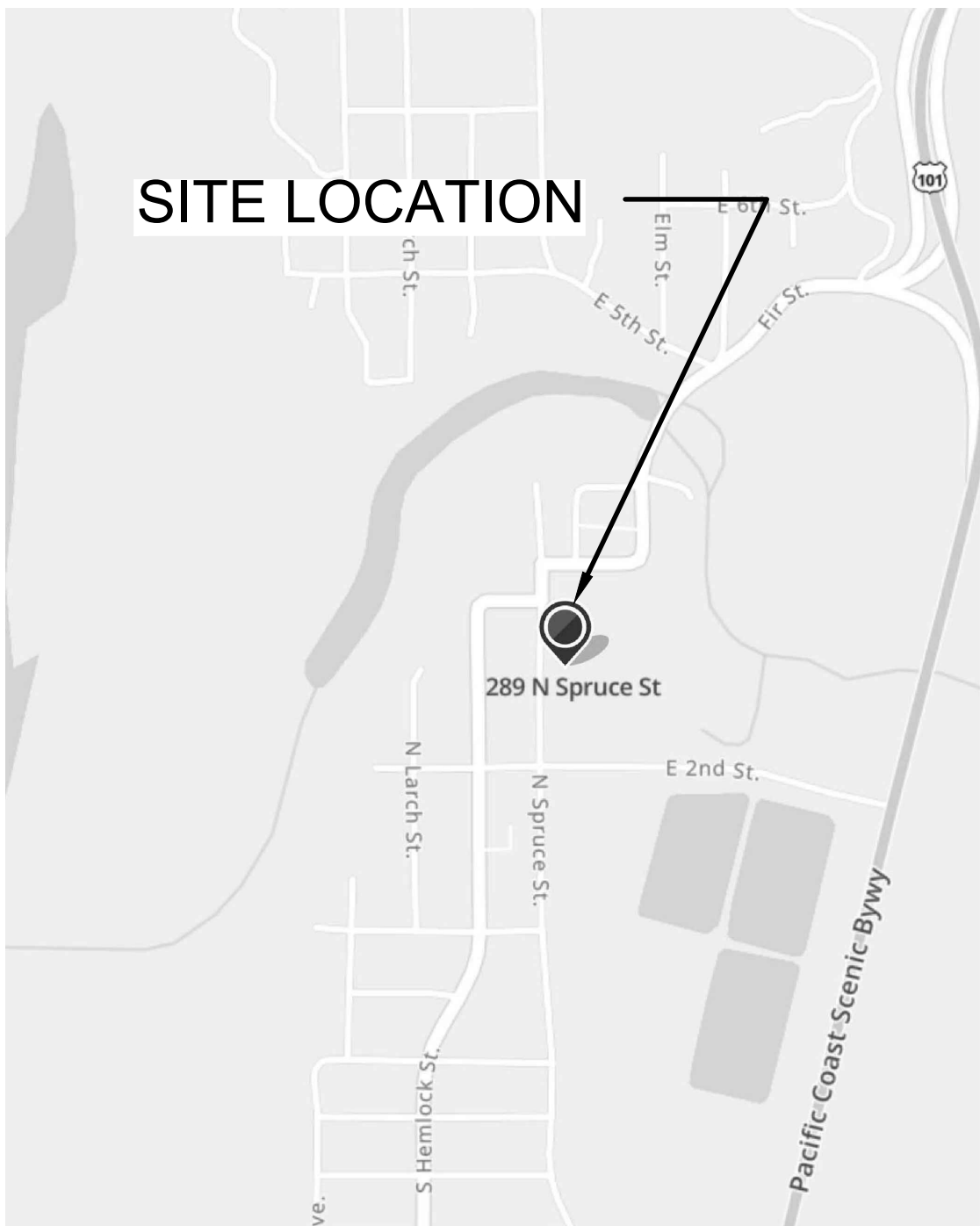
SYMBOLS	
	DETAIL NUMBER
	SECTION NUMBER
	DETAIL - ENLARGED PLAN
	ELEVATION LETTER
	INTERIOR ELEVATION KEY
	ROOM NUMBER
	DRAWING TITLE
	DRAWING TITLE
	KEY NOTE LEGEND:
	CIVIL/SITE KEY NOTE TARGET
	FLOOR PLAN KEY NOTE TARGET
	ROOF PLAN KEY NOTE TARGET
	ELEVATIONS KEY NOTE TARGET
	BUILDING/WALL SECTION KEY NOTE TARGET
	REFLECTED CEILING PLAN KEY NOTE TARGET
	LANDSCAPE KEY NOTE TARGET


CODE RELATED INFORMATION	
BUILDING CODE	2022 OREGON STRUCTURAL SPECIALITY CODE (OSSC) 2021 INTERNATIONAL FIRE CODE (IFC) 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) ASCE 7-10 OREGON WIND MAP & RISK CATEGORY 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) 2022 OREGON ELECTRICAL SPECIALITY CODE (OESC) 2022 OREGON MECHANICAL SPECIALITY CODE (OMSC) 2023 OREGON PLUMBING SPECIALITY CODE (OPSC) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
CANNON BEACH - TITLE 17 ZONING	TYPE V - FULLY SPRINTLERED CONSTRUCTION 2 STORY EXISTING BUILDING A-3 OCCUPANCY (ASSEMBLE - WORSHIP/LECTURE HALL)
	EXISTING LAND USE = TOURIST ACCOMMODATIONS. NO FLOOD HAZARD OVERLAY. NO OCEANFRONT MANAGEMENT OVERLAY. NO LOCAL WETLAND OR AFFECTED TAX LOTS. RM - RESIDENTIAL MOTEL ZONE. OUTRIGHT PERMITTED USES OR EXISTING CUP FRONT SETBACK = 15' SIDE SETBACK = 5' or 15' REAR SETBACK = 15' or 5' MAX. BUILDING HT. = 32' FOR 5:12 OR GREATER PITCHED ROOF. DESIGN REVIEW PER 17.44 TREE REMOVAL PER 17.10 (2 TREES PROPOSED TO BE REMOVED). PARKING PER 17.18 (NOT APPLICABLE AS THERE IS NO CHANGE TO OCCUPANCY OR sq.ft.) CUP PER 17.80 (NOT APPLICABLE AS THERE IS NO CHANGE TO EXISTING USES). NON-CONFORMING/PRE-EXISTING USES PER 17.82 (APPLIES BUT NO CHANGE TO EXISTING NON-CONFORMING & PRE-EXISTING USES). SITE PLAN REQUIRED PER 17.90.190

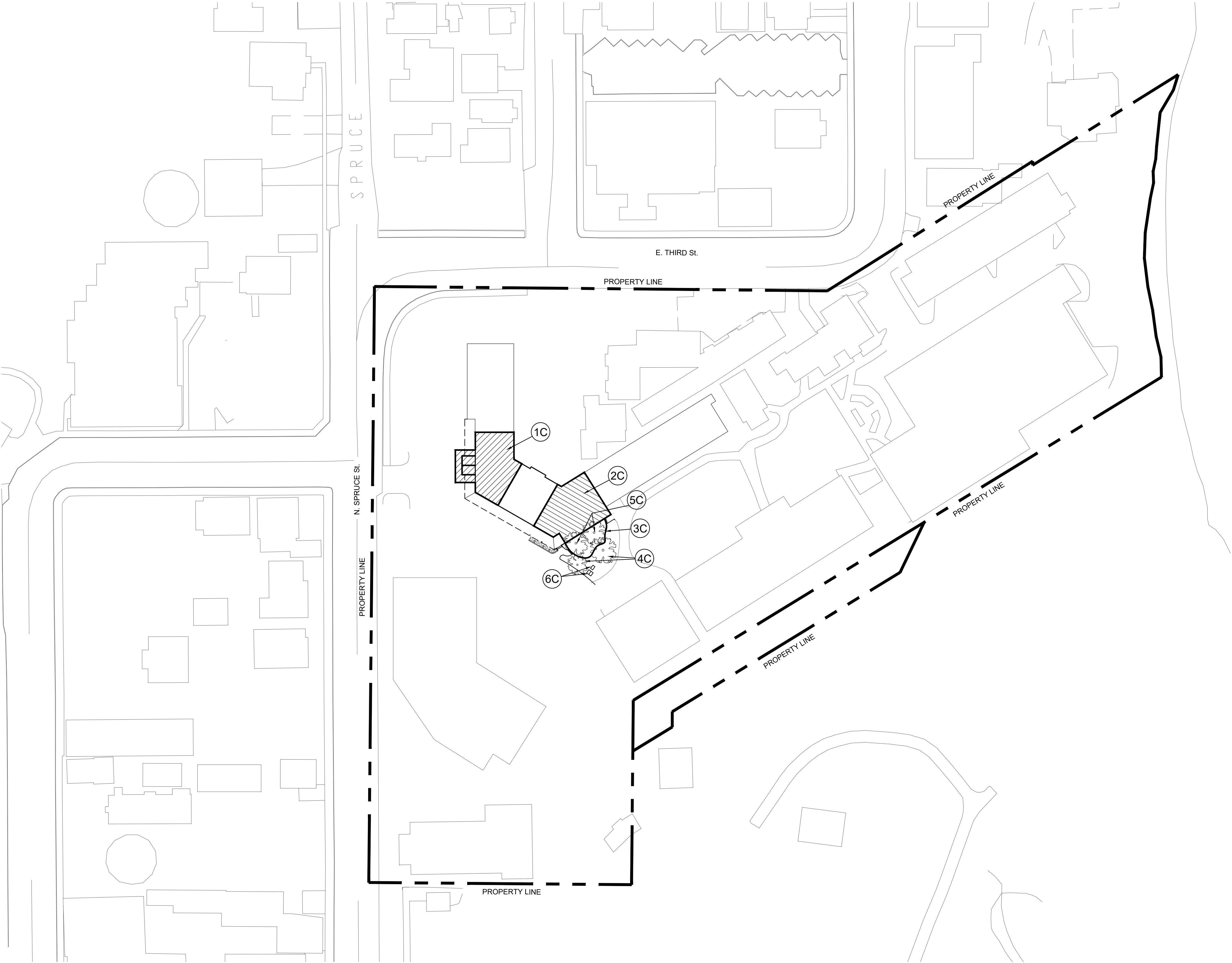
INDEX OF SHEETS	
NO.	DESCRIPTION
CS	COVER SHEET
A1.1	SITE PLAN
A1.2	AERIAL SITE PLAN
A1.3	SURVEY PLAN
A2.1	ENTRY - PLAN, ELEVATION & SECTION
A2.2	COACH HOUSE - PLAN & ELEVATION

GENERAL NOTES:	
I. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.	

PROJECT TEAM	
OWNERS: CANNON BEACH CONFERENCE CENTER 289 N. SPRUCE CANNON BEACH, OR 97110 ROBERT ST. CLAIR 503.436.8053 stclair@ci.cannon-beach.or.us	
ARCHITECT: DAVID BISSETT ARCHITECT, PC 10940 SW BARNES RD., #101 PORTLAND, OR 97225 (503) 341-4445 DAVIDB@DBAARCH.COM	
CONTRACTOR: TBD	
STRUCTURAL ENGINEER: WOLDEN STRUCTURAL ENGINEER LLC TIM WOLDEN SE 34930 HWY. 53 NEHALEM, OR 97131 (503) 368-7962 TIM@WOLDENSE.COM	

VICINITY MAP	
	

VICINITY MAP	
	



SITE PLAN
1" = 40'-0"
0' 10' 20' 40'
N

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

KEY NOTES:

- 1C HAVEN BLDG. - ENTRY UPGRADE. SEE A2.1
- 2C HAVEN BLDG. - COACH HOUSE UPGRADE. SEE A2.2
- 3C NEW OUTDOOR TERRACE W/ PAVERS OVER RAISED COMPACTED GRAVEL/SAND BASE. PAVERS TO COMPLIMENT/MATCH EXISTING ADJACENT. SEE A2.2
- 4C TREE'S TO REMAIN (2)
- 5C TREE'S TO BE REMOVED (2)
- 6C EXISTING POWER BOX, UTILITY VAULT TO REMAIN



dba DAVID BISSETT
ARCHITECT PC
503.341.4445 davidb@dbaarch.com
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SITE PLAN
CANNON BEACH
CONFERENCE CENTER
289 N. Spruce
CANNON BEACH, OR 97110



Revisions

Drawn By	Checked By
TA	DB

Project Number

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February 19, 2024

Drawing File Name

CBCC

Sheet Number

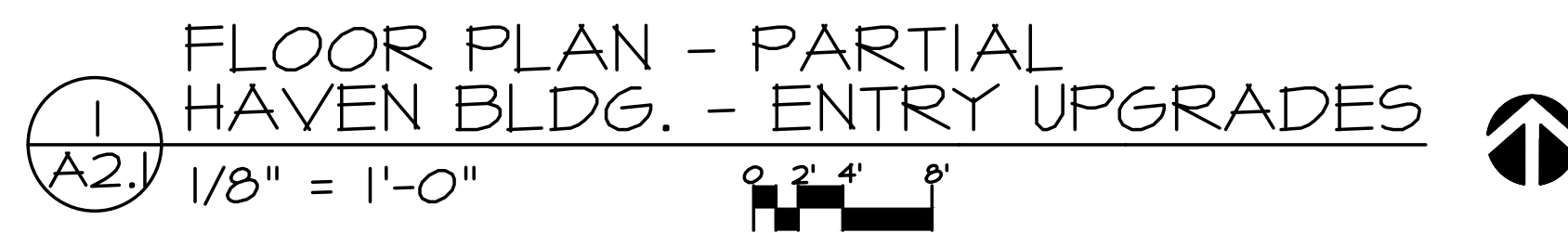
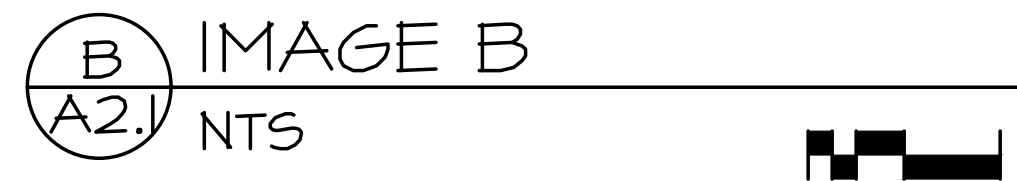
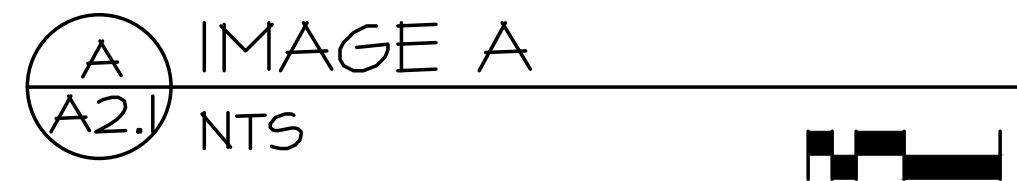
A1.1

REVIEW SET



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REVIEW SET

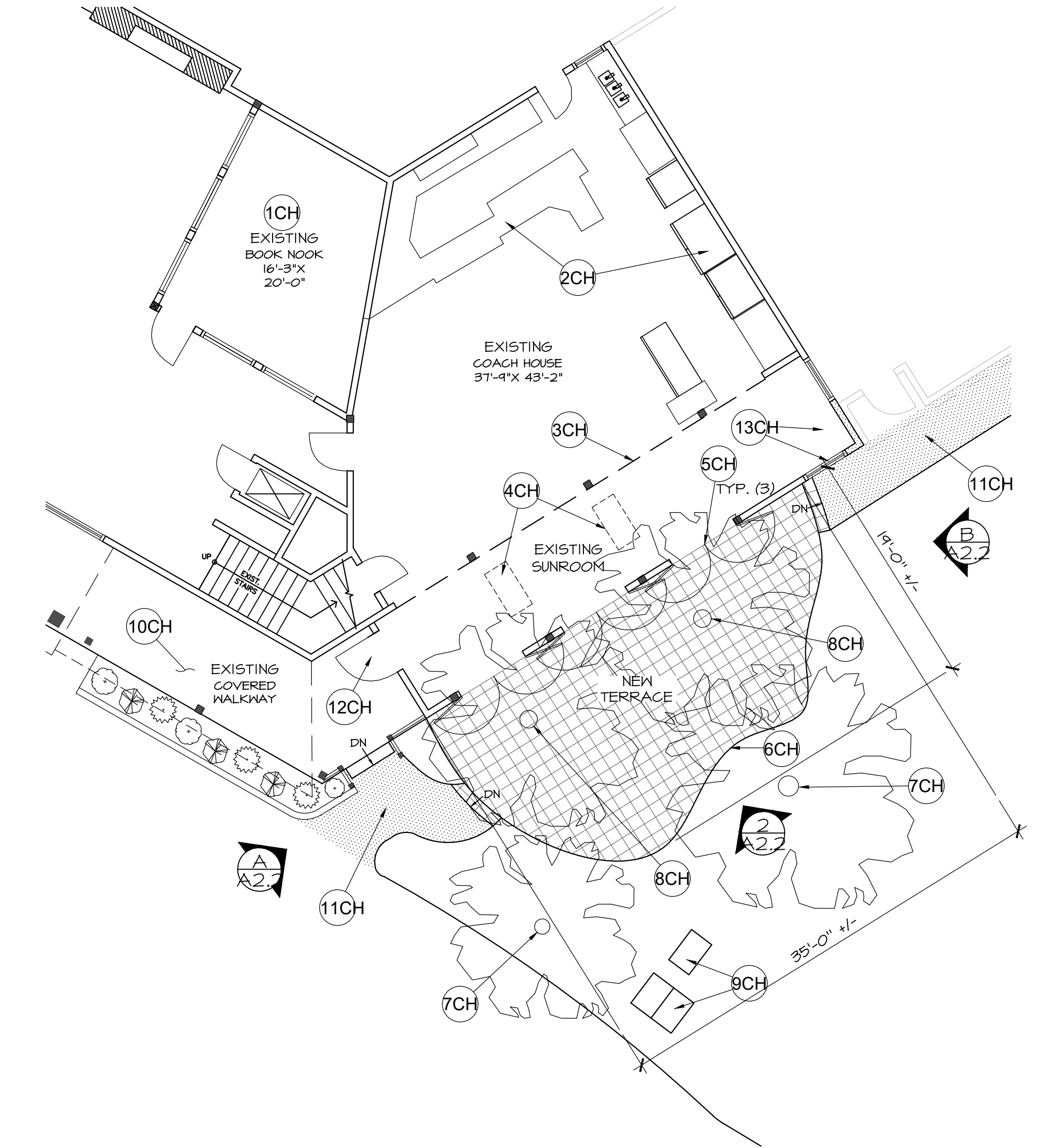




A
A2.1 IMAGE A
NTS



B
A2.1 IMAGE B
NTS



1
A2.2 FLOOR PLAN - PARTIAL
HAVEN BLDG. - COACH HOUSE UPGRADES
1/8" = 1'-0" 0' 2' 4' 8'



2
A2.2 TERRACE ELEVATION
1/4" = 1'-0" 0' 1' 2' 4'

GENERAL NOTES:

1. GENERAL CONTRACTOR SHALL REVIEW ALL SITE CONDITIONS AND CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK. REPORT ANY DISCREPANCIES IN THE PROPOSED WORK TO THE ARCHITECT IMMEDIATELY. PROCEED ONLY AFTER WRITTEN CLARIFICATIONS ARE SUBMITTED.

KEY NOTES: - COACH HOUSE

- 1CH EXISTING WALLS, DOOR'S & WINDOWS TO REMAIN.
- 2CH EXISTING EQUIPMENT, FIXTURES & BUILT-IN'S TO REMAIN.
- 3CH EXISTING WALLS REMOVED. OPENINGS ENLARGED & STRUCTURAL POST'S & HEADERS TBD.
- 4CH EXISTING SKYLIGHTS TO REMAIN.
- 5CH EXISTING WINDOWS REMOVED. OPENING MODIFICATIONS & NEW GLASS PANEL DOOR'S - SEE 14CH ALSO.
- 6CH NEW OUTDOOR TERRACE W/ PAVERS OVER RAISED COMPACTED GRAVEL/SAND BASE. PAVERS TO COMPLIMENT/MATCH EXISTING ADJACENT. FINISH GRADE TRANSITIONS & MATCH POINTS TO EXISTING TBD. EXISTING TREES TO BE REMOVED AS NOTED W/ NEW PERIMETER LANDSCAPE.
- 7CH TREES TO REMAIN (2)
- 8CH TREES TO BE REMOVED (2)
- 9CH EXISTING POWER BOX, UTILITY VAULT TO REMAIN
- 10CH ALTERNATE COST FOR NEW EPOXY TOP TEXTURE ON EXISTING CONC. SLAB AT EXISTING COVERED WALKWAY.
- 11CH EXISTING CONC. SIDEWALK TO REMAIN
- 12CH REMOVE EXISTING DOOR AND SIDE LITE. REPLACE W/ NE GLASS PANEL EXIT DOOR (42" W) W/ ADA EXIT HARDWARE (INFILL FRAMING AS REQUIRED).
- 13CH REMOVE EXISTING WALLS, DOORS, & WINDOWS - REFRAME TO ENCLOSE OUTSIDE LANDING AND ADD (2) NEW WINDOWS.
- 14CH OPTION FOR STACK GLASS PANEL DOOR SYSTEM INLIEU OF (3) PAIRS OF NEW DOORS SHOWN.



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COACH HOUSE UPGRADE

CANNON BEACH
CONFERENCE CENTER
289 N. Spruce
CANNON BEACH, OR 97110



Revisions	

Drawn By TA	Checked By DB
Project Number	

Issue Date
February 19, 2024
Drawing File Name

CBCC
Sheet Number

A2.2

REVIEW SET

Quote Name: Cannon Beach Conference Center
Customer: JSA
Payment Terms:
Sales Representative: Nicole Keller **Mobile:**
nicole.keller@parr.com
Weighted Average: U-Factor: .29, SHGC: 0.2, VT: .35

Quote Number: SQPASZ003728_1
Created Date: 2/1/2024
Modified Date: 2/12/2024
PO Number:
Total Windows: 1
Total Doors: 8
Total Sq Ft: 330.00
Total Perim Ft: 228
Est. Delivery: _____

Comments:

For warranty information please visit www.milgard.com/warranty/

Billing Information

Name: JSA
Address:

Phone:
Fax:
Email:

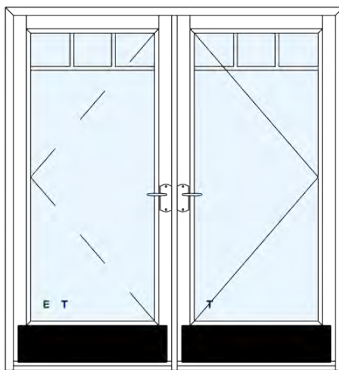
Shipping Information

Name:
Address:

Phone:
Fax:
Email:

Line: 1 **Location:** ENTRY OFFICE/LOBBY
Quantity: 3 Ultra C650, 3945U, OS2P2, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .29, SHGC: .19, VT: .33, **PG:**
No Rating

Flat, Ext Frost/Int White, 13 1/4" Valance 6W1H
Hinge Finish: Satin Nickel
Handle Finish: Ext Satin Nickel/Int Satin Nickel
Keyed Alike Locks
Low Profile Sill
ADA Prep Package
Custom Size
Argon Gas Filled
Foam fill Frame
Tariff



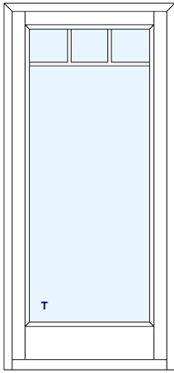
Viewed From Exterior

Model = Outswing Two Panel
Size = Net Frame: 73 3/8" x 79 1/2"
Handing = Passive / Active
Energy Star Zone(s) = None
Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
Glazing = Dual Glaze with Argon
Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 6W1H
Wall = 4 9/16" Wall Condition, 0" Primed Jamb Extension
Hardware = Madrona Handle, Ext Satin Nickel, Int Satin Nickel, Satin Nickel Hinge Finish, Keyed Alike
Other Options = ADA Compliant Sill, Low Profile Sill, ADA Prep Package, Glazing Policy: Glazed and Panel In
Screen = None
Ratings = STC: 28, OITC: 24, PG: No Rating
Clear Opening = W 65 5/8" x H 75 1/2" Sq. Ft. 34.41, Egress: Yes
Calculations = Unit Area (Sq. Ft.): 41, Unit Perimeter (nominal in lineal ft): 27'
Other Ratings = CPD: MIL-A-278-05770-00001

Customer Approval: _____

Exhibit A-4

Line: 2 **Location:** LOBBY SIDELITES
Quantity: 2 Ultra C650, 3645U, OS1P0, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .28, SHGC: .19, VT: .34
Flat, Ext Frost/Int White, 13 1/4" Valance 3W1H
Argon Gas Filled
Foam fill Frame
Tariff

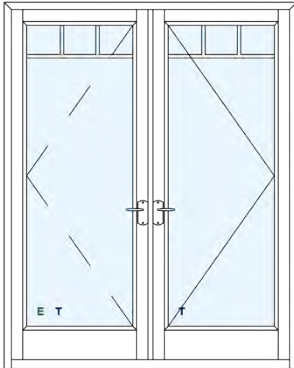


Model = Outswing One Panel
Size = RO: 37 9/16" x 80"
Net Frame: 37 1/16" x 79 1/2"
Handing = Fixed
Energy Star Zone(s) = South Central; Southern
Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
Glazing = Dual Glaze with Argon
Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 3W1H
Wall = 4 9/16" Wall Condition, 0" Primed Jamb Extension
Other Options = Standard Sill, Glazing Policy: Glazed and Panel In
Ratings = STC: 30, OITC: 25, PG: LC-PG30
Calculations = Unit Area (Sq. Ft.): 21, Unit Perimeter (nominal in lineal ft): 20'
Other Ratings = CPD: MIL-A-246-15455-00001

Viewed From Exterior

Customer Approval: _____

Line: 3 **Location:** CAFE COACH HOUSE
Quantity: 3 Ultra C650, 3665U, OS2P2, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .28, SHGC: .19, VT: .34
Flat, Ext Frost/Int White, 13 1/4" Valance 6W1H
Hinge Finish: Satin Nickel
Handle Finish: Ext Satin Nickel/Int Satin Nickel
Keyed Alike Locks
6 9/16" Wall Condition, 2" Jamb Extension
Argon Gas Filled
Foam fill Frame
Tariff



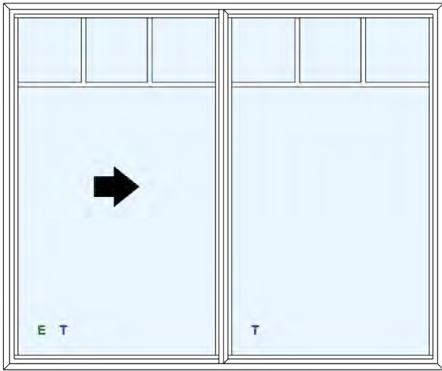
Model = Outswing Two Panel
Size = Call Out: 6076
Net Frame: 71 1/2" x 89 1/2"
Handing = Passive / Active
Energy Star Zone(s) = South Central; Southern
Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
Glazing = Dual Glaze with Argon
Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 6W1H
Wall = 6 9/16" Wall Condition, 2" Primed Jamb Extension
Hardware = Madrona Handle, Ext Satin Nickel, Int Satin Nickel, Satin Nickel Hinge Finish, Keyed Alike
Other Options = Standard Sill, Glazing Policy: Glazed and Panel In
Screen = None
Ratings = STC: 30, OITC: 25, PG: LC-PG45
Clear Opening = W 63 3/4" x H 85 1/2" Sq. Ft. 37.85, Egress: Yes
Calculations = Unit Area (Sq. Ft.): 45, Unit Perimeter (nominal in lineal ft): 28'
Other Ratings = CPD: MIL-A-246-15455-00001

Viewed From Exterior

Customer Approval: _____

Exhibit A-4

Line: 4 **Location:** WINDOW
Quantity: 1 Ultra C650, 3110U, HV, 1 3/8" Setback, Ext Frost / Int White, U-Factor: .30, SHGC: .26, VT: .49
1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered
Flat, Ext Frost/Int White, 13 1/4" Valance 6W1H
Argon Gas Filled
Tariff



Viewed From Exterior

Model = Half Vent
Size = Call Out: 6050
Net Frame: 71 1/2" x 59 1/2"
Handing = XO
Energy Star Zone(s) = None
Glass = 1/8" SunCoat (Low-E) Tempered over 1/8" Clear Tempered with Gray Foam Spacer
Glazing = Dual Glaze with Argon
Grids = Flat, Ext Frost / Int White, 13 1/4" Valance 6W1H
Hardware = White, Positive Action Lock
Screen = Standard with Fiberglass Mesh
Ratings = STC: 29, OITC: 23, PG: R-PG30
Clear Opening = W 32 1/8" x H 57 5/16" Sq. Ft. 12.79, Egress: Yes
Calculations = Unit Area (Sq. Ft.): 30, Unit Perimeter (nominal in lineal ft): 23'
Other Ratings = CPD: MIL-A-158-05763-00002

Customer Approval: _____

Line: 5 **Location:** DELIVERY
Quantity: 1 Delivery Charge



Customer Approval: _____



PARR LUMBER CO - HILLSBORO #2
21700 NW Wagon Way
HILLSBORO, OR 97124
503-531-7277



Submitted By: _____

Accepted By: _____

Date: _____

For warranty information please visit www.milgard.com/warranty/

Please note that actual NFRC energy values may vary from those reported in CTB Quote Plus due to variations that may occur during the manufacturing process. In most cases variations will be minimal. Please contact your Milgard location with questions or concerns regarding this potential variation.

Painted Vinyl Note: For stucco applications, please follow the Milgard Stucco Tape Guidelines
https://www.milgard.com/sites/default/files/u/u57666/stucco_taping_guidelines_0920.pdf.

Handing is viewed from outside looking in.

ADDITIONAL INFORMATION:



CANNON BEACH COMMUNITY DEVELOPMENT

163 E. GOWER ST.

PO Box 368

CANNON BEACH, OR 97110

March 1, 2024

David Bissett
4788 Sheridan Dr.
Gearhart, OR 97138

RE: Completeness Determination for Design Review at 289 N. Spruce St. (File: DRB 24-06)

Dear Mr. Bissett:

Your application for Design Review for exterior modifications to an existing building at 289 N. Spruce St. was received on February 26, 2024 and found to be complete on February 29, 2024. The City has 120 days to exhaust all local review, that period ends on Friday, June 28, 2024. The first evidentiary hearing for this application will be held on Thursday March 21, 2024 at 6:00pm, you may participate in person or by Zoom.

The materials received with this application include:

- Design Review application form
- Project description
- Project schematics and surveys
- Materials information

Please be aware that the determination of a complete application is not a decision or a guarantee of outcome for the application.

Please feel free to contact my office at (503) 436-8053, or by email at stclair@ci.cannon-beach.or.us if you have questions regarding this application matters.

Sincerely,

Robert St. Clair
Planner