



CITY OF CANNON BEACH

AGENDA

Meeting: Design Review Board
Date: **Thursday, May 16, 2024**
Time: 6:00 pm
Location: Council Chambers

CALL TO ORDER, APPROVAL OF AGENDA AND MINUTES

- 1) **Approval of Agenda**
- 2) **Consideration of the Minutes for the Design Review Board Meetings of April 18, 2024.**
If the Design Review Board wishes to approve the minutes, an appropriate motion is in order.

PUBLIC COMMENT

If you request to speak during a public hearing agenda item, your comments will be considered during the public hearing portion of the meeting when the public hearing item is considered by the Board.

ACTION ITEMS

- 3) **DRB 24-12**, Mark and Sandy Ward, property owner, to demolish old non-conforming building and replace it with an Accessory Dwelling Unit (ADU). The property is located at 207 E Monroe St. (Taxlot 02200, map 51029BC) in a Residential Medium Density (R2) zone. The application will be reviewed against the criteria of Municipal Code, Chapter 17.44.080 – 17.44.100, Design Review Criteria.

DISCUSSION ITEMS

- 4) Good of the Order
- 5) ADJOURNMENT

Please note that agenda items may not be considered in the exact order listed, and all times shown are tentative and approximate. Documents for the record may be submitted to the Community Development Department prior to the meeting by email, fax, mail, or in person. Publications may be available in alternate formats and the meeting is accessible to the disabled. For questions about the agenda, or if you need special accommodations per the Americans with Disabilities Act (ADA), please contact Community Development at (503) 436-8054.

Posted: May 9, 2024

Public Comment: If you wish to provide public comment via Zoom for this meeting, please use the raise your hand Zoom feature. Except for a public hearing agenda item, all Public to be Heard comments will be taken at the time indicated on the agenda or at the discretion of the Chair for both agenda and non-Agenda items. If you are requesting to speak during a public hearing agenda item, please indicate the specific agenda item number as your comments will be considered during the public hearing portion of the meeting when the public hearing item is considered by the Board. It will be at the Chair's discretion to allow additional comment through Zoom at the time of the meeting.

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Minutes of the
CANNON BEACH DESIGN REVIEW BOARD
April 18, 2024
6:00 p.m.
Council Chambers

Present: Chair Dave Doering and Board Member Tim Ramey attended in person. Michelle Valigura, Anita Dueber, and Harvey Claussen attended via Zoom.

Excused:

Staff: City Manager Bruce St. Denis, Community Development Director Steven Sokolowski, City Planner Robert St. Clair, and Administrative Assistant Tessa Pfund, and Special Counsel Bill Kabeiseman.

CALL TO ORDER

Chair Doering called the meeting to order at 6:01 pm.

1) Approval of Agenda

Motion: Ramey moved to approve the agenda; Claussen seconded the motion.

Vote: Doering, Dueber, Valigura, Claussen, and Ramey voted AYE; the vote was 5:0 in favor and the motion passed.

2) Approval of minutes from the March 21, 2024, Design Review Board Meetings

Ramey provided a brief list of corrections to the minutes.

Motion: Ramey moved to approve the minutes as amended; Claussen seconded the motion.

Vote: Doering, Dueber, Valigura, Claussen, and Ramey voted AYE; the vote was 5:0 in favor and the motion passed.

PUBLIC COMMENT

Chair Doering opened the floor for public comment on non-agenda items. There were no comments.

NON-HEARING ITEMS

3) DRB 24-11, non-hearing consideration of a freestanding signage application, Travis Walker on behalf of Kramer Walker Curated Living at 279 N Hemlock St., Taxlot 51019DD01300.

Chair Doering asked for the staff report. St. Clair read the staff report.

Chair Doering asked if there was additional correspondence. There was none.

Chair Doering asked if there was a presentation by the applicant.

Travis Walker, 552 Vine Maple

One of the business owners came forward to present their freestanding sign. They recently moved here and are expanding their business beyond home décor with this new storefront. They are looking forward to being a part of the community. He asked how they should handle the preexisting parking signs on the property. One of the signs

indicates it's intended for 15 minutes parking. The preexisting handicap parking sign is required. Conversation followed.

Chair Doering asked for presentations by proponents. There were none.

Chair Doering asked for presentations by opponents. There were none.

Chair Doering asked if there were comments from the staff. There were none.

Valigura asked to discuss the situation with decals on windows. Dueber stated there are essentially three signs with this permit. Conversation followed relating to decals. Decals are not mentioned in the code. Sokolowski commented that the maximum number of walls signs is one, so they need to choose between the sign over the door and the decals. Valigura shared that there are other businesses in town with decals with rough looking decals. Doering stated no one has a problem with the freestanding signage, but they're hesitant on the decals.

Grayson Kramer, 552 Vine Maple

Came forward to discuss the multiple signs. The decals would only be used as a pair, as it is part of their design. Their interpretation of the guidelines was that the door sign was the sign, and the decals were brandings. If that is a problem, he'll withdraw the decals. Additionally, the decals would be applied inside and not subjected to the weather.

Sokolowski shared this was brought to the DRB because of the alternate materials. They have the option of having one sign not three. Ramey summarized that if we approve this freestanding signage, that the door sign will go with it. The decal was a secondary option. The only motion necessary here would be to approve the freestanding signage, and the door mounted sign would be matched with it.

Motion: Valigura moved to approve the freestanding sign; Dueber seconded the motion.

Vote: Doering, Dueber, Valigura, and Claussen, Ramey voted AYE; the vote was 5:0 in favor and the motion passed unanimously.

ACTION ITEMS

- 4) **Continuation of DRB 24-06 David Bissett**, applicant, on behalf of Cannon Beach Conference Center for exterior alterations to existing structures and landscaping changes. The property is located at 289 N. Spruce St. (Taxlot 100, Map 51020CC) in a Residential Motel (RM) zone. The application will be reviewed against the criteria of Municipal Code, Chapter 17.44.080 – 17.44.100, Design Review Criteria.

Chair Doering asked if anyone objected to the jurisdiction of the Design Review Board to hear this matter at this time. Doering asked if any Commission member believes they have a conflict of interest or personal bias. Doering asked if any Commission member had any ex parte contacts or made a site visit. Board members shared they walk by the site often.

St. Clair read the staff report.

Chair Doering asked if there was additional correspondence on this matter. There was none.

Chair Doering opened the public hearing and stated the pertinent criteria were posted; testimony and evidence must address those criteria or other applicable criteria; failure to raise an issue accompanied by statements or evidence sufficient to permit the decision makers to respond to the issue would preclude appeal based upon that issue; prior to the conclusion of the initial evidentiary hearing, any party may request that the hearing record remain open for at least seven days for the submission of additional testimony or evidence; persons who testify

shall first receive recognition from the chair, state their full name and mailing address, and if appearing in a representative capacity, identify whom they represent.

Chair Doering asked for a presentation from the applicant.

David Bissett, Architect, 4788 Sheridan Dr., Gearhart OR 97138

Opened by thanking the board for welcoming him back to present the application again. They're recently acquired the arborist's report and other documents to share with the board. He welcomed questions from the board.

Chair Doering asked for testimony from proponents. There were none.

Chair Doering asked for testimony from opponents.

Jan Siebert-Wahrmund, PO Box 778

Expressed concern for the trees. She asked if the board might consider putting a condition of approval that the City Arborist look at the trees to be removed, and, if the board allows those trees to be removed, that they require those trees be replaced on Conference Center grounds with other shore pines.

Conversation followed relating to her request. The board expressed interest in this condition of approval.

Chair Doering asked for additional staff response. There were none.

Chair Doering asked if applicant.

Bissett said the Conference Center would be in favor of replanting trees on their property.

Chair Doering asked if there was a motion to approve the site plans.

Motion: Ramey moved to approve the site plans as presented; Claussen seconded the motion.

Vote: Doering, Dueber, Valigura, and Claussen, Ramey voted AYE; the vote was 5:0 in favor and the motion passed unanimously.

Chair Doering asked if there was a motion to approve the architectural designs.

Motion: Claussen moved to approve the architectural designs as presented; Ramey seconded the motion.

Vote: Doering, Dueber, Valigura, and Claussen, Ramey voted AYE; the vote was 5:0 in favor and the motion passed unanimously.

Chair Doering asked for a motion to approve the landscape design.

Motion: Ramey moved to approve the landscape plan as presented with the condition that two trees of native species be planted elsewhere on the property; Claussen seconded the motion.

Vote: Doering, Dueber, Valigura, and Claussen, Ramey voted AYE; the vote was 5:0 in favor and the motion passed unanimously.

5) DRB 24-09, Chair Doering shared that this item was withdrawn.

Chair Doering moved to take a brief break. The meeting resumed at 7:02pm

- 6) **DRB 24-10**, CIDA Inc., applicant, on behalf of the City of Cannon Beach for a new Police Department and Emergency Operations Center. The property is located at 81389 N Hwy 101. (Taxlot 200, Map 41006B) in an Institutional (IN) zone. The application will be reviewed against the criteria of Municipal Code, Chapter 17.44.080 – 17.44.100, Design Review Criteria.

Chair Doering asked if anyone objected to the jurisdiction of the Design Review Board to hear this matter at this time. Doering asked if any committee member believes they have a conflict of interest or personal bias. Doering asked if any Commission member had any ex parte contacts or made a site visit. Ramey declared a site visit and a short conversation with Public Works. Claussen said he spoke with Lt. Wilbur regarding the proposed site.

Chair Doering asked for the staff report. St. Clair read the staff report.

Chair Doering asked if there was additional correspondence. There were none.

Chair Doering asked for testimony from the applicant.

Leslie Jones, CIDA Architects and Engineers

Spoke on behalf of CIDA, and shared that she was prepared to answer any questions that the board may have. She provided a page-by-page review of the submitted plans for the proposed Police Department and Emergency Operations Center. Jones shared that the landscaping will be made up of native species, and all trees removed for construction will be replanted. Jones highlighted the consideration and design focus given toward security, weather, lighting, and more.

Chair Doering asked for testimony from proponents.

Jan Siebert-Wahrmund, PO Box 778

Supports the project but wants to know if we can have more trees in that corridor. She knows we want the building to be visible from the highway but feels we could include more trees and keep the building visible.

Chair Doering asked for testimony from opponents. There were none.

Chair Doering asked for additional staff response. There were none.

Chair Doering asked if the applicant would like to make additional statements.

Jones added that the property in ODOT's right away is limited in terms of planting. Therefore they must propose non-native trees that are not native in that particular area.

Ramey asked Jones if there was still an idea or plan for this to be an emergency command center for the city. The plans presented don't appear to offer that ability. Jones responded by sharing an option of removing the partition in the squad rooms to create one large room for council meetings.

Claussen posed questions relating to the proposed sites access from the highway in cases of emergency or road hazards. Jones shared that there is an emergency exit from the parking lot. Claussen asked where he could see them on site plans. The plans are found on page 97 of the meeting packet. Lieutenant Chris Wilbur came forward to explain the traffic situation and options for exiting the parking lot. Dueber asked how officers would handle leaving this lot on a busy summer day. Officer Wilbur shared that officers are often on patrol all over town and have lights to help them get where they need to go. Dueber asked what ODOT's thoughts were on this matter, regarding emergency vehicles and activity at this location. Jones shared that they submitted plans to ODOT and asked about the access. CIDA has worked with ODOT but will have to submit official permits to them when ready. Conversation followed. Sokolowski shared that the City worked with a traffic analysis company, Red

Plaines Engineering. There will be additional conversations as the plans proceed, but the traffic analysis company is okay with the plans as proposed.

Doering asked what the plans and costs could be for utilities. Jones shared that she doesn't have a utility plan with her, but they can share that if it's being requested. Conversation followed relating to the utilities.

Ramey asked Jones about EV charging stations for the proposed development. There are many incentives and rebates available for the establishment of charging stations, which could make it nearly free. Conversation followed.

Doering asked for information on the tank that's being relocated. It was explained that it's essentially a composting toilet. Valigura asked about the sign material, Jones answered that it will be made of metal or wood.

Doering asked if there was a motion to approve the site plans.

Motion: Ramey moved to approve the plans; Valigura seconded the motion.

Vote: Doering, Claussen, Valigura, and Ramey, voted AYE; Dueber voted NAY. The vote was 4:1 in favor and the motion passed.

Doering asked for a motion of approval for the architectural designs. A discussion followed relating to the signage on the building and if they want to put conditions on it.

Motion: Claussen moved to approve the architectural design except for the signage to be reviewed later; Valigura seconded the motion.

Vote: Doering, Claussen, Valigura, and Ramey voted AYE; Dueber voted NAY. The vote was 4:1 in favor and the motion passed.

Chair Doering asked if there was a motion to approve the landscape design. Clausen asked if this includes lighting. Doering said he believed lighting was a part of architectural design. The board took a moment to review the submitted plans for lighting. Claussen's concern came from a desire to allow use of emergency lighting.

Motion: Ramey moved to approve the landscape design; Claussen seconded the motion.

Vote: Doering, Claussen, Valigura, and Ramey voted AYE; Dueber voted NAY. The vote was 4:1 in favor and the motion passed.

Doering asked for another motion for the chair to sign.

Motion: Ramey made the motion for the chair to sign; Dueber seconded the motion.

Vote: Doering, Dueber, Valigura, Claussen, and Ramey voted AYE. The vote was 5:0 in favor and the motion passed.

DISCUSSION ITEMS

8) Good of the Order

Chair Doering expressed a desire for all to show up in person for these meetings, as tonight was difficult to navigate with all the Zoom echoes. Conversation followed.

9) ADJOURNMENT

Chair Doering adjourned the meeting at 8:02pm.

Tessa Pfund, Community Development and Planning
Department Administrator

DRAFT



Cannon Beach Design Review Board

Staff Report:

DRB 24-12, MARK AND SANDY WARD APPLICATION FOR A NEW ACCESSORY DWELLING UNIT. THE PROPERTY, 207 E. MONROE ST., TAXLOT 51029BC02200, IS OWNED BY MARK AND SANDRA WARD IN A RESIDENTIAL MEDIUM DENSITY (R2) ZONE. THE APPLICATION WILL BE REVIEWED AGAINST THE CRITERIA OF MUNICIPAL CODE CHAPTER 17.44.080 – 17.44.100, DESIGN REVIEW CRITERIA.

Agenda Date: May 16, 2024

Prepared By: Community Development Department

GENERAL INFORMATION

NOTICE

Public notice for this May 16, 2024 Public Hearing is as follows:

- A. Notice was posted at area Post Offices on April 25, 2024;
- B. Notice was mailed on April 25, 2024 to surrounding landowners within 100' of the exterior boundaries of the property.

Oregon E-Permitting record number: [164-24-000038-PLNG](#)

DISCLOSURES

Any disclosures (i.e. conflicts of interest, site visits or ex parte communications)?

EXHIBITS

The following Exhibits are attached hereto as referenced.

“A” Exhibits – Application Materials

- A-1** Design Review Application DRB#24-12, received April 16, 2024
- A-2** Project schematics, received April 16, 2024
- A-3** Landscaping and lighting information, received April 26, 2024
- A-4** Revised site plan, received May 6, 2024

“B” Exhibits – Agency Comments

None received as of this writing;

“C” Exhibits – Cannon Beach Supplements

- C-1** Completeness Determination Letter, dated April 25, 2024

“D” Exhibits – Public Comment

- D-1** M. Cadwallader comment, received May 6, 2024

SUMMARY & BACKGROUND

The proposed project is the replacement of an existing 476 square foot detached accessory dwelling that was constructed in 1954. This proposal is brought before the Design Review Board as new dwellings that contain an accessory dwelling are subject to review [CBMC 17.54.080(C)]. The existing structure which the applicant intends to replace is shown below:



APPROVAL CRITERIA

Approval criteria are in the Accessory Uses (17.54) and Design Review Standards (17.44) sections of the Municipal Code: These are excerpted below.

17.54.080 Accessory Dwelling

Accessory dwellings, where permitted by the zone, shall conform to the following standards:

- A. No more than one accessory dwelling shall be provided on a lot.*
- B. The accessory dwelling shall contain an area of no more than six hundred square feet.*
- C. New dwellings that contain an accessory dwelling, or the exterior modification of an existing dwelling necessary to create an accessory dwelling, shall be subject to the design review requirements of Chapter 17.44.*
- D. An accessory dwelling shall be provided with one additional off-street parking space in addition to the two off-street parking spaces required for the dwelling.*
- E. A manufactured dwelling shall not be used as an accessory dwelling.*
- F. An accessory dwelling shall not be provided in conjunction with a duplex, triplex or multiple-family dwelling.*
- G. An accessory dwelling shall not be permitted on a lot that contains a guest house.*

- H. An accessory dwelling to be provided in conjunction with a dwelling that is used as a home occupation shall be reviewed as a conditional use.*
- I. A new detached accessory dwelling shall comply with the setback requirements of the zone in which it is located. The provisions of Section 17.54.030(A) are not applicable to an accessory dwelling.*
- J. The property owner shall annually submit a notarized sworn statement that the accessory dwelling has been rented exclusively for periods of thirty calendar days or more.*
- K. The accessory dwelling shall remain in the same ownership as the primary dwelling. The accessory dwelling shall not be sold as separate real or personal property.*

Staff Comment:

The current accessory dwelling is a pre-existing non-conforming structure built in 1954 that partially sits within the setbacks established by the R2 zone, the proposed replacement will fit within the 5-foot side and rear yard setbacks for a corner lot. The new unit will measure 29 x 16 feet and be 464 square feet.

17.44 Design Review Standards and Requirements.

17.44.080 Site Design Evaluation Criteria.

The following criteria shall be used in evaluating site development plans. The number adjacent to the criterion represents the relative importance of that criterion, with “3” being the most important:

- x3 A. The arrangement of all functions, uses, and improvements has been designed so as to reflect and harmonize with the natural characteristics and limitations of the site and adjacent sites.*
- x3 B. In terms of setback from the street or sidewalk, the design creates a visually interesting and compatible relationship between the proposed structures and/or adjacent structures.*
- x3 C. The design incorporates existing features such as streams, rocks, slopes, vegetation (i.e., making use of a small stream rather than placing it in a culvert).*
- x3 D. If the project is unusually large, or if it is located so as to become part of an introduction/transition to the city or to a particular district or to the beach, the design acknowledges the special impact the project would have on the entire community by addressing these design criteria in an exemplary, standard-setting manner.*
- x2 E. Where appropriate, the design relates or integrates the proposed landscaping/open space to the adjoining landscaping/open space in order to create a pedestrian pathway and/or open system that connects several properties.*
- x2 F. The arrangement of the improvements on the site do not unreasonably degrade the scenic values of the surrounding area.*
- x2 G. The improvements on the site enhance and/or do not deny solar access, light or air within the site or to adjacent sites or structures.*
- x2 H. Where appropriate, the design includes a parking and circulation system that encourages a pedestrian rather than vehicular orientation, including a separate service area for delivery of goods.*

- x2 I. *The arrangement of the improvements on the site does not unreasonably block or greatly degrade scenic vistas enjoyed from neighboring (especially public) sites.*
- x2 J. *The various functions and elements of the site design have been integrated into a unified whole, except in those cases where separation is appropriate. The overall design is visually harmonious when viewed either from within the site or from outside the site.*
- x1 K. *The design gives attention to the placement of storage or mechanical equipment so as to screen it from view.*
- x2 L. *If the project is adjacent to, or visible from, US Highway 101, the design minimizes its visual impact on the scenic character of Highway 101.*
- x3 *The arrangement of functions, uses and improvements on the site have been designed to provide access to and within the site for individuals with disabilities.*

Staff Comment:

The neighborhood of the subject property is residential in nature and consists of detached single family dwellings and their accessory structures. The subject property is a 5,000 square foot lot and the setbacks for a corner property are 15 feet on the street facing sides and 5 feet on the others. Based on the application materials, the proposed accessory dwelling will conform to the established setbacks of the R2 zone.

17.44.090 Architectural Design Evaluation Criteria.

The following criteria shall be used in evaluating architectural designs. The number adjacent to the criterion represents the relative importance of that criterion, with "3" being the most important:

- x3 A. *The design avoids either monotonous similarity or excessive dissimilarity with existing structures, or structures for which a permit has been issued, in its section of town (i.e., downtown, midtown, etc.). If the development includes multiple structures, the design avoids either monotonous similarity or excessive dissimilarity between the component structures.*
- x3 B. *The size, shape and scale of the structure(s) are architecturally compatible with the site and with the surrounding neighborhood. The structure is sufficiently modest in scale to enhance the village character of the community.*
- x3 C. *The proposed materials and colors are compatible with the character and coastal setting of the city.*
- x3 D. *The design avoids monotony and provides visual interest and charm by giving sufficient attention to architectural details and to such design elements as texture, pattern and color.*
- x3 E. *If the project includes a large structure or structures, such as a large motel or condominium, the design avoids a monolithic expanse of frontages and rooflines and diminishes the massing of the buildings by breaking up building sections, or by the use of such elements as variable planes, projections, bays, dormers, setbacks, or changes in the roofline.*
- x3 F. *If the project is unusually large, or if it is likely to become a village landmark, or if it is located so as to become part of an introduction/ transition to the city or to a particular district or to the beach, the design acknowledges the special impact the project would have on the entire community by addressing the design criteria in an exemplary, standard-setting fashion.*

- x2 G. *The height of the structure(s) is architecturally compatible with the site and the surrounding neighborhood. The height of the structures contributes to the village scale.*
- x2 H. *The height of the structure(s) is such that it does not unreasonably destroy or degrade the scenic values of the surrounding area.*
- x2 I. *The height of the structure(s) is such that it does not unreasonably block or greatly degrade the views of scenic vistas as seen from neighboring sites.*
- x2 J. *The height of the structure(s) is such that it does not unreasonably deny solar access, light or air to an adjacent structure, on or off the site.*
- x2 K. *The design sufficiently addresses the relationship of the structure(s) to the sidewalk and to pedestrian activity so as to foster human interaction.*
- x2 L. *The proposed signage harmonizes with the other structures in terms of form, materials and scale.*
- x2 M. *Lighting fixtures: (1) are compatible with the architectural design; (2) produce illumination sufficiently subdued to be compatible with the village character; (3) avoid casting glare on adjoining property; (4) are sufficient for night-time safety, utility, security, and commerce; and (5) do not exceed the illumination values in the table at Section 17.44.150.*
- x2 N. *The project incorporates design elements or building improvements which result in the conservation of energy.*
- x1 O. *The design of the project ensures continued privacy for the occupants of adjacent structures. In cases of multifamily housing, this item is to be rated as x3.*

Staff Comment:

The proposed accessory dwelling will be a 29 x 16 foot (464 square feet) structure with a maximum height above grade of approximately 16½ feet. The proposed unit will be smaller than the existing 476 square foot unit. Application materials indicate that the structure will have shake siding similar to the primary dwelling. Exterior illumination will consist of two downward pointing recessed can lights above the entrance on the western façade.

17.44.100 Landscape Design Evaluation Criteria.

The following criteria shall be used in evaluating landscape plans. The number adjacent to the criterion represents the relative importance of that criterion, with "3" being the most important:

- x3 A. *The design substantially complements the natural environment of Cannon Beach and the character of the site.*
- x3 B. *The design harmonizes with and enhances the architectural design.*
- x3 C. *The landscape design acknowledges the growing conditions for this climatic zone and the unique requirements that its specific site location makes upon plant selection (i.e., salt, wind and wind exposure, soil condition, light, shade, etc.).*
- x3 D. *Provision has been made for the survival and continuous maintenance of the landscape and its vegetation.*

- x3 E. *Where it is desirable to do so, the design provides amenities for the public.*
- x2 F. *The design makes use of existing vegetation and incorporates indigenous planting materials.*
- x2 G. *The selection and arrangement of plant materials provides visual interest by the effective use of such design elements as color, texture and size differentiation.*
- x2 H. *The hard surface portion of the design makes use of visually interesting textures and patterns.*
- x2 I. *Where it is desirable to do so, the design provides visual interest through the creation of a variety of elevations.*
- x2 J. *The design contributes to the stabilization of slopes, where applicable.*
- x2 K. *The design successfully delineates and separates use areas, where it is desirable to do so.*
- x2 L. *The lighting fixtures and level of illumination are compatible with the landscape design. The level of illumination produced enhances the overall project and does not cast glare on adjacent property or into the night sky.*

Staff Comment:

No significant changes from existing landscaping are proposed as part of this project. Shrubbery on the western property frontage that will be removed as a result of construction will be replaced with a combination of roses and azaleas.

PROCEDURAL REQUIREMENTS

This application is subject to ORS 227.178, requiring the City to take final action within 120 days after the application is deemed complete. The application was submitted on April 16, 2024 and determined to be complete on April 25, 2024. Based on this, the City must complete its review of this proposal by August 23, 2024.

The Design Review Board's May 16th hearing will be the first evidentiary hearing on this request. ORS 197.763(6) allows any party to the hearing to request a continuance. The DRB should grant any request for a continuance of this hearing. The DRB's next regularly scheduled hearing date is June 20, 2024.

DECISION AND CONDITIONS

Site Plan

Motion: Having considered the evidence in the record and upon a motion by Board member (Name), seconded by Board member (Name), the Cannon Beach Design Review Board voted to (approve/approve with conditions/deny) the site plan of the Mark Ward application to construct an Accessory Dwelling Unit at 207 E. Monroe St., DRB 24-12, as discussed at this public hearing (subject to the following conditions):

Architectural

Motion: Having considered the evidence in the record and upon a motion by Board member (Name), seconded by Board member (Name), the Cannon Beach Design Review Board voted to (approve/approve with conditions/deny) the architectural plan of the Mark Ward application to construct an Accessory Dwelling Unit at 207 E. Monroe St., DRB 24-12, as discussed at this public hearing (subject to the following conditions):

Landscape Plans

Motion: Having considered the evidence in the record and upon a motion by Board member (Name), seconded by Board member (Name), the Cannon Beach Design Review Board voted to (approve/approve with conditions/deny) the landscape plan of the Mark Ward application to construct an Accessory Dwelling Unit at 207 E. Monroe St., DRB 24-12, as discussed at this public hearing (subject to the following conditions):

Notice of Approval

17.44.140 Final approval expiration.

The final approval of a design review plan shall be void after one year of the date of approval unless a building permit has been obtained. (Ord. 90-3 § 15)

DRB 24-12 Project Location & Zoning

207 E. Monroe St., Taxlot 51029BC02200



DESIGN REVIEW BOARD FINDINGS; SECTION 17.44.070 - 17.44.100

APPLICANT: Mark Ward; DRB NUMBER: DRB 24-12

MEETING DATE: May 16, 2024

MAP: 51029BC02200

Site Design Criteria	+/-/na	notes
A. The arrangement of all functions, uses, and improvements has been designed so as to reflect and harmonize with the natural characteristics and limitations of the site and adjacent sites. (x3)		
B. In terms of setback from the street or sidewalk, the design creates a visually interesting and compatible relationship between the proposed structures and/or adjacent structures. (x3)		
C. The design incorporates existing features such as streams, rocks, slopes, vegetation (i.e., making use of a small stream rather than placing it in a culvert). (x3)		
D. If the project is unusually large, or if it is located so as to become part of an introduction/transition to the city or to a particular district or to the beach, the design acknowledges the special impact the project would have on the entire community by addressing these design criteria in an exemplary, standard-setting manner. (x3)		
E. Where appropriate, the design relates or integrates the proposed landscaping/open space to the adjoining landscaping/open space in order to create a pedestrian pathway and/or open system that connects several properties. (x2)		
F. The arrangement of the improvements on the site do not unreasonably degrade the scenic values of the surrounding area. (x2)		
G. The improvements on the site enhance and/or do not deny solar access, light or air within the site or to adjacent sites or structures. (x2)		
H. Where appropriate, the design includes a parking and circulation system that encourages a pedestrian rather than vehicular orientation, including a separate service area for delivery of goods. (x2)		
I. The arrangement of the improvements on the site does not unreasonably block or greatly degrade scenic vistas enjoyed from neighboring (especially public) sites. (x2)		
J. The various functions and elements of the site design have been integrated into a unified whole, except in those cases where separation is appropriate. The overall design is visually harmonious when viewed either from within the site or from outside the site. (x2)		
K. The design gives attention to the placement of storage or mechanical equipment so as to screen it from view. (x1)		
L. If the project is adjacent to, or visible from, US Highway 101, the design minimizes its visual impact on the scenic character of Highway 101. (x2)		

M. The arrangement of functions, uses and improvements on the site have been designed to provide access to and within the site for individuals with disabilities. (x3)		
--	--	--

Architectural Design Criteria	+/-/na	notes
A. The design avoids either monotonous similarity or excessive dissimilarity with existing structures, or structures for which a permit has been issued, in its section of town (i.e., downtown, midtown, etc.). If the development includes multiple structures, the design avoids either monotonous similarity or excessive dissimilarity between the component structures. (x3)		
B. The size, shape and scale of the structure(s) are architecturally compatible with the site and with the surrounding neighborhood. The structure is sufficiently modest in scale to enhance the village character of the community. (x3)		
C. The proposed materials and colors are compatible with the character and coastal setting of the city. (x3)		
D. The design avoids monotony and provides visual interest and charm by giving sufficient attention to architectural details and to such design elements as texture, pattern and color. (x3)		
E. If the project includes a large structure or structures, such as a large motel or condominium, the design avoids a monolithic expanse of frontages and rooflines and diminishes the massing of the buildings by breaking up building sections, or by the use of such elements as variable planes, projections, bays, dormers, setbacks, or changes in the roofline. (x3)		
F. If the project is unusually large, or if it is likely to become a village landmark, or if it is located so as to become part of an introduction/ transition to the city or to a particular district or to the beach, the design acknowledges the special impact the project would have on the entire community by addressing the design criteria in an exemplary, standard-setting fashion. (x3)		
G. The height of the structure(s) is architecturally compatible with the site and the surrounding neighborhood. The height of the structures contributes to the village scale. (x2)		
H. The height of the structure(s) is such that it does not unreasonably destroy or degrade the scenic values of the surrounding area. (x2)		
I. The height of the structure(s) is such that it does not unreasonably block or greatly degrade the views of scenic vistas as seen from neighboring sites. (x2)		
J. The height of the structure(s) is such that it does not unreasonably deny solar access, light or air to an adjacent structure, on or off the site. (x2)		
K. The design sufficiently addresses the relationship of the structure(s) to the sidewalk and to pedestrian activity so as to foster human interaction. (x2)		
L. The proposed signage harmonizes with the other structures in terms of form, materials and scale. (x2)		

M. Lighting fixtures: (1) are compatible with the architectural design; (2) produce illumination sufficiently subdued to be compatible with the village character; (3) avoid casting glare on adjoining property; (4) are sufficient for night-time safety, utility, security, and commerce; and (5) do not exceed the illumination values in the table at Section 17.44.150. (x2)		
N. The project incorporates design elements or building improvements which result in the conservation of energy. (x2)		
O. The design of the project ensures continued privacy for the occupants of adjacent structures. In cases of multifamily housing, this item is to be rated as x3. (x1)		

Landscape Design Criteria	+/-/na	notes
A. The design substantially complements the natural environment of Cannon Beach and the character of the site. (x3)		
B. The design harmonizes with and enhances the architectural design. (x3)		
C. The landscape design acknowledges the growing conditions for this climatic zone and the unique requirements that its specific site location makes upon plant selection (i.e., salt, wind and wind exposure, soil condition, light, shade, etc.). (x3)		
D. Provision has been made for the survival and continuous maintenance of the landscape and its vegetation. (x3)		
E. Where it is desirable to do so, the design provides amenities for the public. (x3)		
F. The design makes use of existing vegetation and incorporates indigenous planting materials. (x2)		
G. The selection and arrangement of plant materials provides visual interest by the effective use of such design elements as color, texture and size differentiation. (x2)		
H. The hard surface portion of the design makes use of visually interesting textures and patterns. (x2)		
I. Where it is desirable to do so, the design provides visual interest through the creation of a variety of elevations. (x2)		
J. The design contributes to the stabilization of slopes, where applicable. (x2)		
K. The design successfully delineates and separates use areas, where it is desirable to do so. (x2)		
L. The lighting fixtures and level of illumination are compatible with the landscape design. The level of illumination produced enhances the overall project and does not cast glare on adjacent property or into the night sky. (x2)		



CITY OF CANNON BEACH

DESIGN REVIEW BOARD APPLICATION

Please fill out this form completely. Please type or print.

Applicant Name: MARK & SANDY WARD
 Mailing Address: P.O. BOX 116
CANNON BEACH, OR
 Email Address: MR WARD 121 @ HOTMAIL.COM
 Telephone: 503-440-0268

City of Cannon Beach
Finance Department

APR 16 2024

Received

Property-Owner Name: _____
 (if other than applicant)

Mailing Address: _____

Telephone: _____

Property Location: 207 E. Monroe St.
 (street address)

Map No.: _____ Tax Lot No.: 510296002200

Project Description: REMOVE EXISTING, NONCONFORMING 462 SQ/FT BUILDING AND REPLACE WITH 464 SQ/FT ADU THAT MEETS 5' SIDEYARD SET BACK, HAS NEW ENERGY EFFICIENT APPLIANCES AND INSULATION, AND ALSO INCORPORATES DESIGN ELEMENTS OF EXISTING SINGLE FAMILY RESIDENCE ON PROPERTY. ADU WILL OCCUPY APPROXIMATE SAME FOOTPRINT SO NO TREE REMOVAL IS NECESSARY

Please see the back of this sheet for Design Review submittal requirements for site analysis diagram, site development plan, landscape plan and architectural plans which must be included with this application.

Application Fees:	Minor Modification:	\$50
	Major Modification, partial review:	\$200
	Major Modification, full review:	\$600

Applicant Signature: Mark Ward Date: 4/15/24

Property Owner Signature: Mark Ward Date: 4/15/24

If the applicant is other than the owner, the owner hereby grants permission for the applicant to act on his/her behalf. Please attach the name, address, phone number, and signature of any additional property owners.

For Staff Use Only:

City of Cannon Beach
Finance Department

Received on: _____ By: APR 16 2024

Fee Paid: _____ Receipt No.: _____

(Last revised March 2021)

PAID



City of Cannon Beach
163 E Gower St | PO Box 368
Cannon Beach, OR 97110
(503) 436-1581
cityhall@ci.cannonbeach.or.us

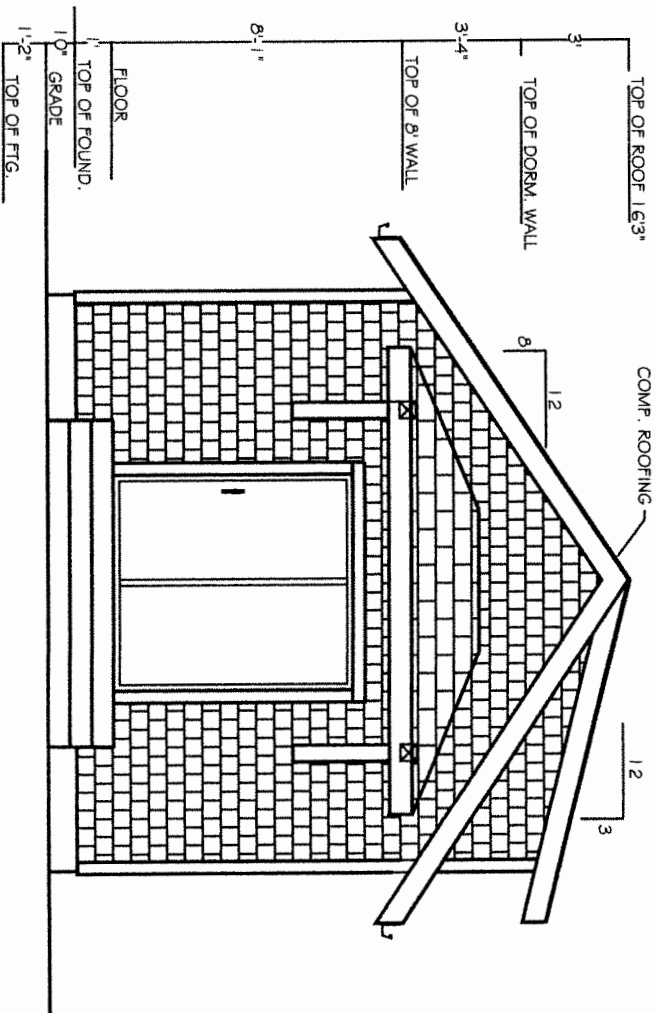
XBP Confirmation Number: 170491082

Transaction detail for payment to City of Cannon Beach.		Date: 04/16/2024 - 11:24:49 AM MT	
Transaction Number: 216817777 Visa — XXXX-XXXX-XXXX-8824 Status: Successful			
Account #	Item	Quantity	Item Amount
DRB App-207 E Monroe	Planning Fees DRB App-207 E Monroe	1	\$200.00

TOTAL: \$200.00

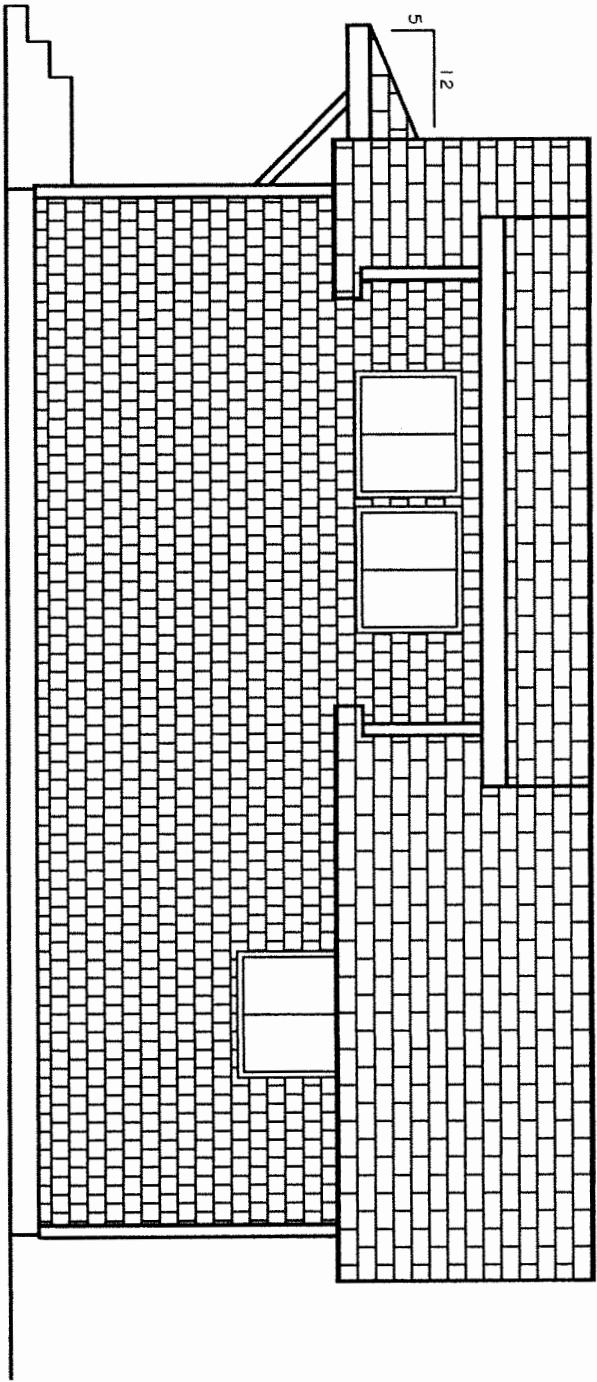
Billing Information
MARK WARD
97110

Transaction taken by: Admin Front



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

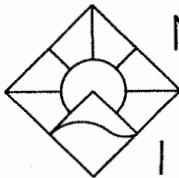


RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

Drawn by: Morgan Soller

Notes/Revisions:



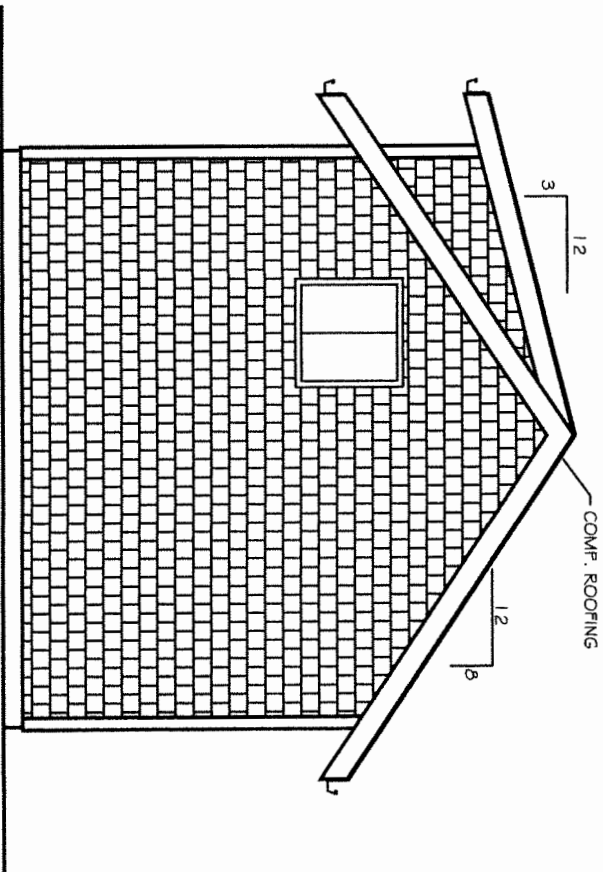
Morgan Soller Designs
Seaside, Or 97138
12/20/20223

MARK & SANDRA WARD "ADU"
207 E MONROE
CANNON BEACH, OR 97110

Scale:
3/16"=1'

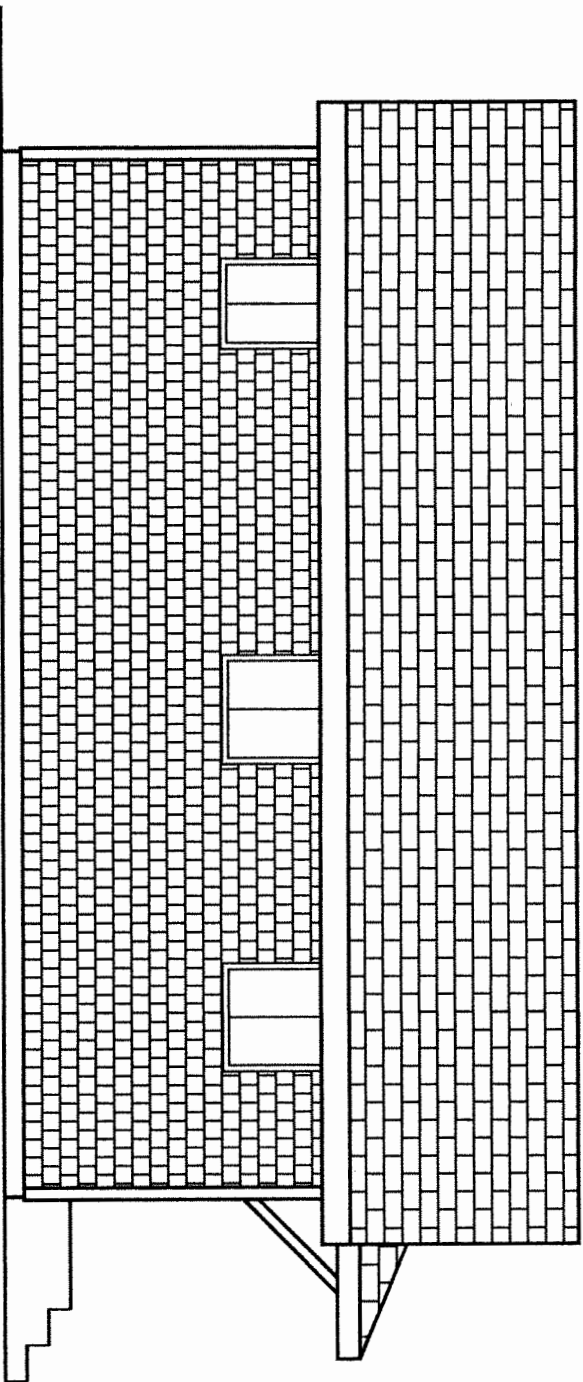
Sheet:

1/7



REAR ELEVATION

SCALE: 3/16" = 1'-0"

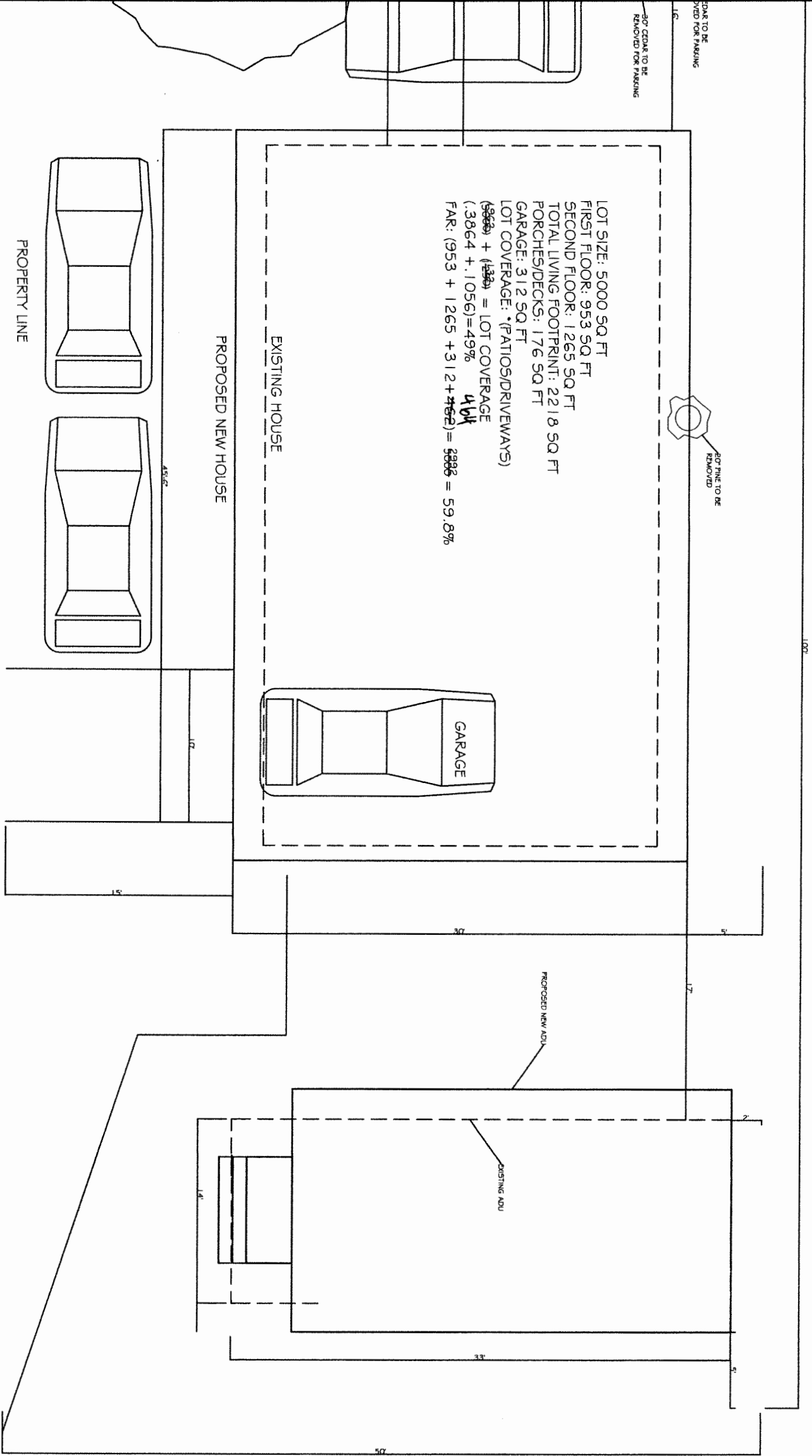


LEFT ELEVATION

SCALE: 3/16" = 1'-0"

Drawn by: Morgan Soller

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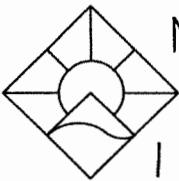
SITE PLAN

SCALE: 1/4" = 1'-0"

Drawn by: Morgan Soller

MARK & SANDRA WARD "ADU"
207 E MONROE
CANNON BEACH, OR 97110

Notes/Revisions:

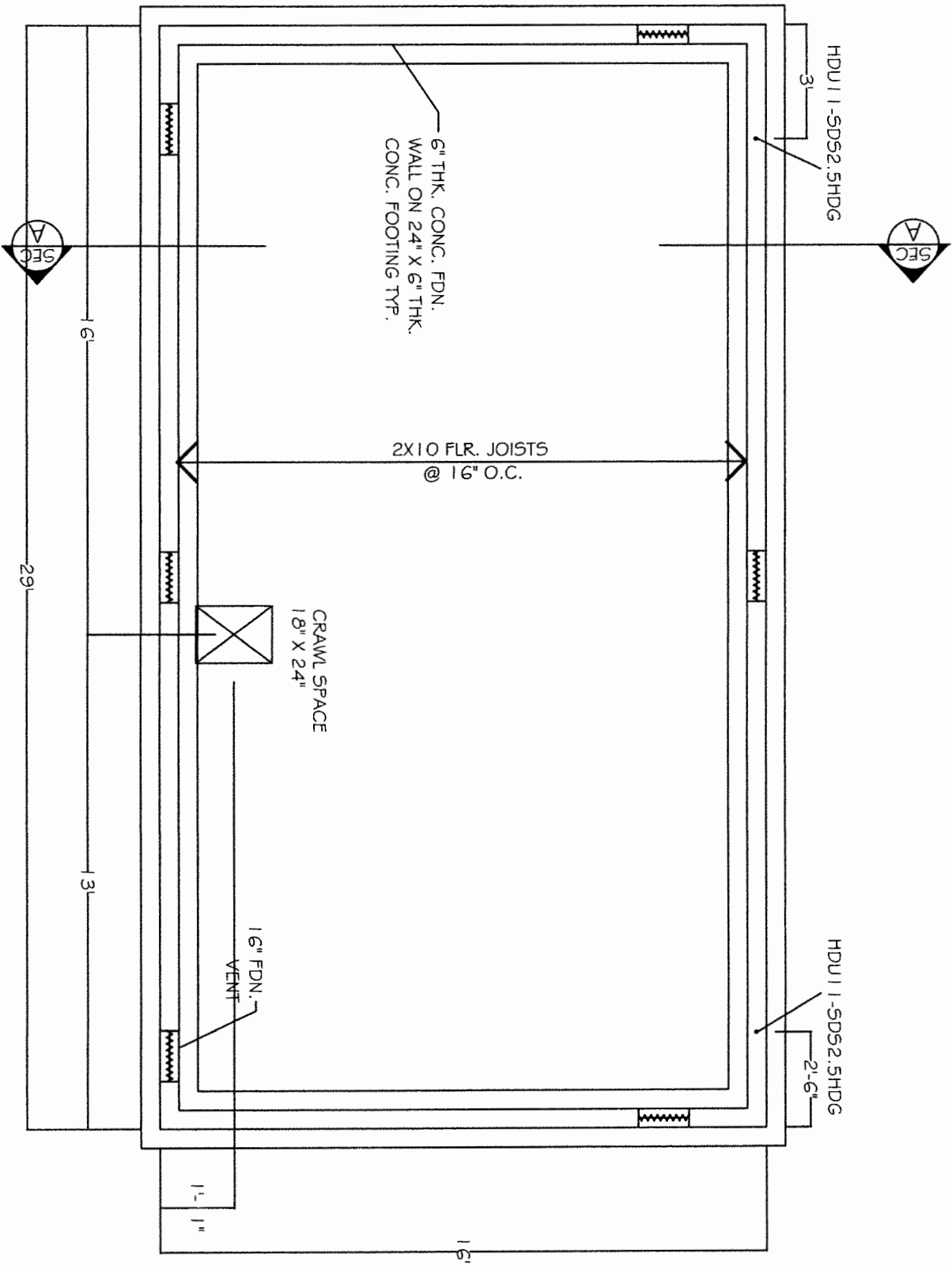


Morgan Soller Designs
Seaside, Or 97138
12/20/20223

Scale:
3/16" = 1'

Sheet:

3/7



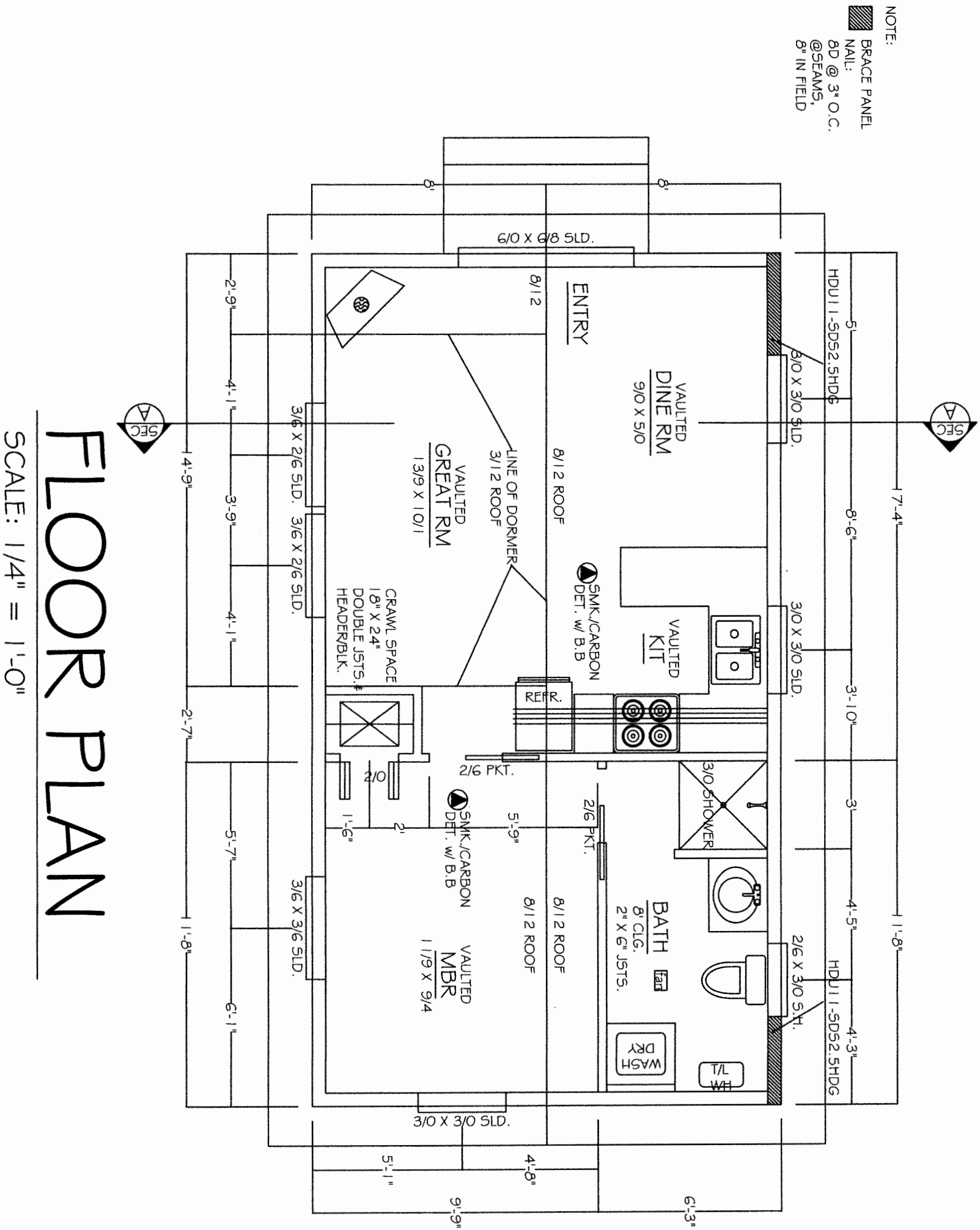
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE:
BRACE PANEL
NAIL:
8D @ 3" O.C.
@ SEAMS,
8" IN FIELD

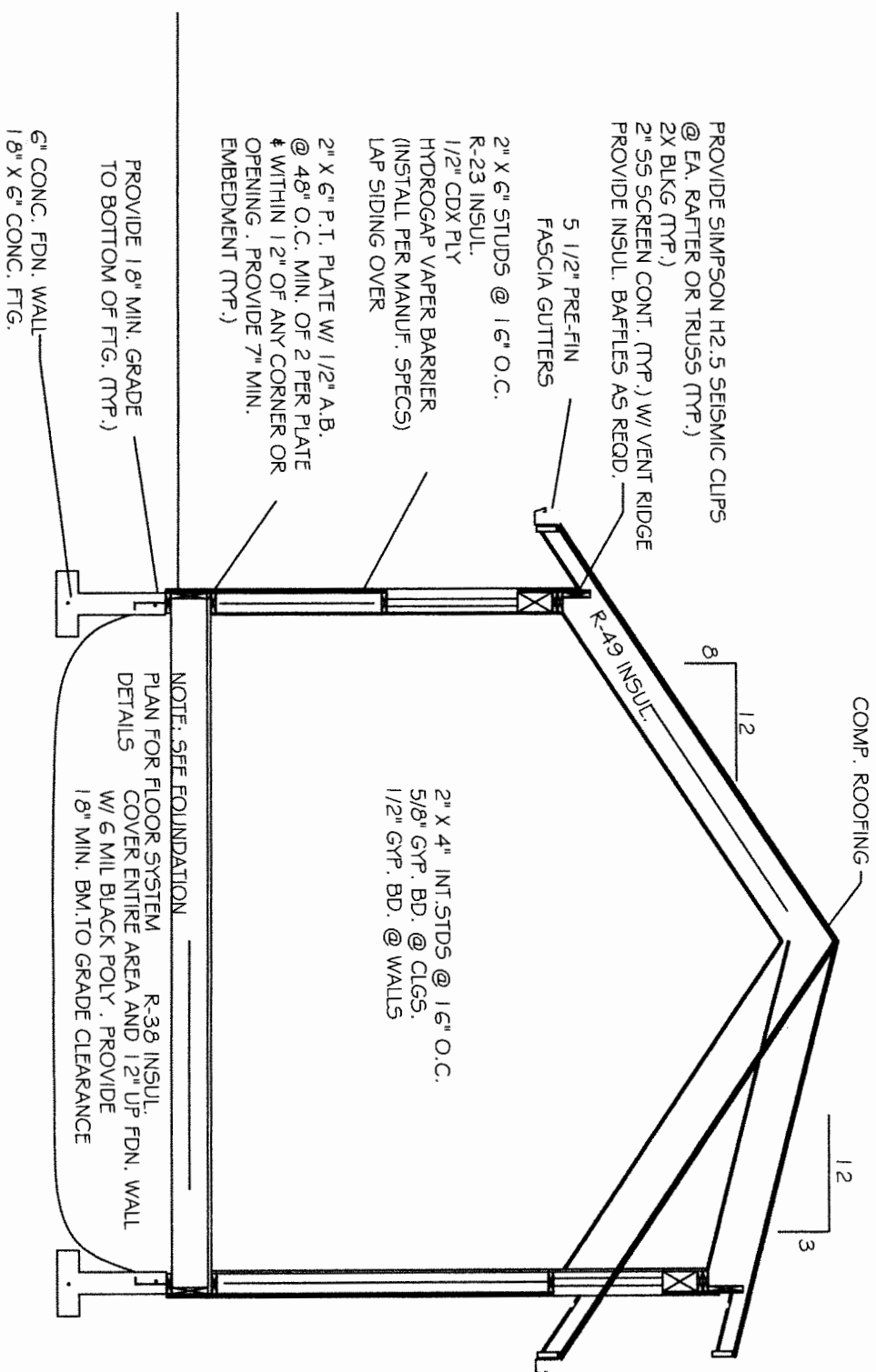
Drawn by: Morgan Soller

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Drawn by: Morgan Soller

<div data-bbox="1231 2728 1399 2893"></div> <div data-bbox="1399 2728 1907 2893"><p>Morgan Soller Designs Seaside, Or 97138 12/20/20223</p></div>	<p>Notes/Revisions:</p>	<p>MARK & SANDRA WARD "ADU" 207 E MONROE CANNON BEACH, OR 97110</p>	<p>Scale: 1/4"=1'</p>	<p>Sheet: 5/7</p>
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SCALE: 1/4" = 1'-0"

Drawn by: Morgan Soller

Morgan Soller Designs
Seaside, Or 97138
12/20/2023

12/20/20223

Notes/Revisions:

MARK & SANDRA WARD "ADU"
207 E MONROE
CANNON BEACH, OR 97110

207 E MONROE

CANNON BEACH, OR 97110

Scale:
3/16"=1'

$$3/16'' = 1'$$

Sheet:

617

GENERAL NOTES:

- 4" X 8" GIRDERS ON
- 4" X 4" POST ON
- 1 8" SQ. X 8" THK
- CONC. FOOTING.
- PROVIDE 3" MIN. BRG. @ BM. POCKET ON 55# A.S. FELT W/ 1/2" AIR SPACE @ SIDES AND ENDS (TYP.)
- COVER ENTIRE AREA AND 12" UP WALLS W/ 6 MIL BLACK POLY AND PROVIDE 18" MIN. BM. TO GRADE CLEARANCE
- ALL WOOD IN DIRECT CONTACT W/ CONC. TO BE P.T. WOOD (TYP.)
- PROVIDE LOW AREA DRAIN (TYP.)

FOUNDATION NOTE:

- 1) MIN. 28-DAY CONCRETE STRENGTH= 3000 PSI.
- 2) REINFORCING TO BE ASTM A615, GR. 60 MIN.
- 3) WELDED WIRE MESH TO MEET ASTM A185 STD. SEE MAIN FLOOR PLAN FOR LOCATIONS OF CAST-IN-PLACE HOLDOWNS.
- INSTALL #4 BARS CONT. HORIZ. WITHIN 12" OF TOP OF FOUNDATION WALL EXTENDING 50" MIN. BOTH SIDES OF ALL HOLDOWNS (HOOK AROUND CORNERS ,IF NECESSARY). INSTALL #4 BARS W/ 6" HOOK @ FTG. (EXTENDING TO TOP OF FOUNDATION WALL) @ 18" O.C. IN REGIONS OF ABOVE REFERENCED #4 BARS.
- ALL OTHER LOCATIONS TO HAVE #4 BARS AT NOT MORE THAN 48" O.C. THE BAR TO EXTEND WITHIN 3" OF BOTTOM OF FOOTING, HAVE A STANDARD HOOK AND EXTEND A MINIMUM OF 14" INTO THE STEM WALL. THE FOOTING MUST HAVE A #4 BAR RUN CONTINUOUS WITH A MINIMUM CLEARANCE FROM BOTTOM OF FOOTING OF 3" U.N.O. AND INSTALL A #4 BAR WITHIN 12" OF TOP OF FDN. WALL.
- LOCATE ALL FDN. WALL PENETRATIONS (VENTS , DUCTS, ETC.) 12" MIN. AWAY FROM ALL HOLDOWN LOCATIONS . IF PENETRATION FALLS WITHIN LENGTH OF HORIZ. BAR NOTED ABOVE , BEND DOWN HORIZ. 18" MIN. @ EA. SIDE OF PENETRATION AND RUN AN ADDITIONAL 50" LONG HORIZ. CENTERED UNDER PENETRATION

ALL ROOMS CONTAINING BATHING OR SPA FACILITIES SHALL BE PROVIDED WITH MECHANICAL VENTILATION WHICH SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION M1507.4

PROVIDE DRYER VENT W/ 4" DIA. MIN. THE VENT MUST REACH TO OUTSIDE WALLS AND TERMINATE NO CLOSER THAN 3'-0" TO ANY OPENING INTO RESIDENCE

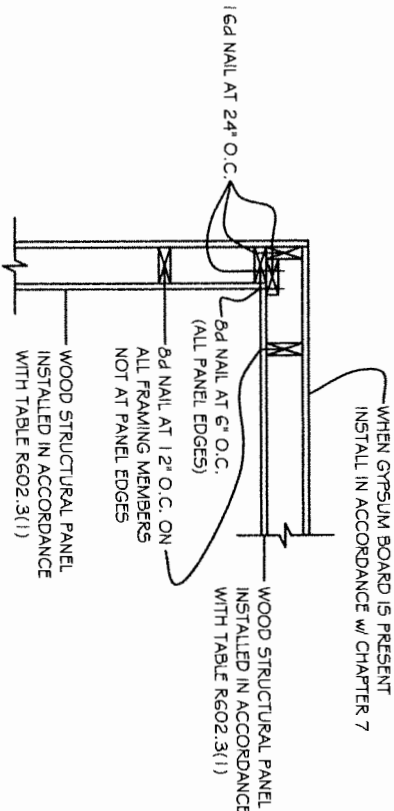
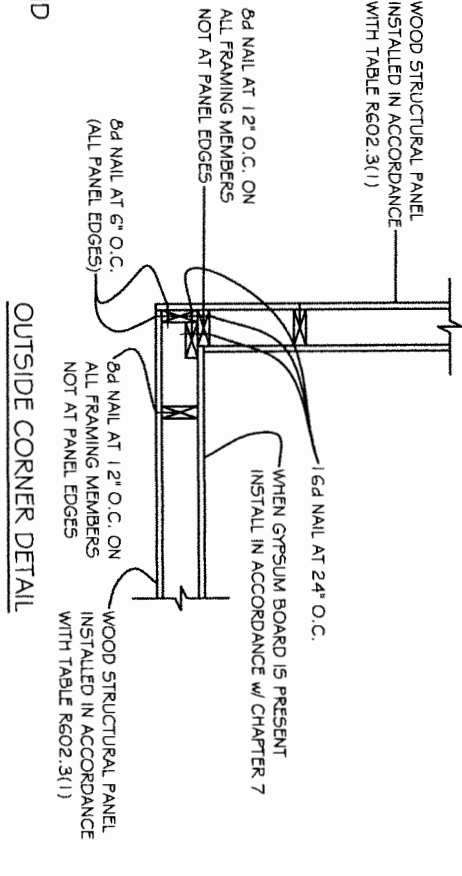
ALL WINDOW & EXT. DR. HEADERS TO BE 4" X 10" UNLESS NOTED OTHERWISE

ALL ELECTRICAL TO MEET OR EXCEED CURRENT MINIMUM CODE REQUIREMENTS AND IS TO BE DECIDED BY OWNER

ALL OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN HIGH-EFFICIACY LAMPS. SCREW IN COMPACT FLUORESCENT AND LED LAMPS COMPLY WITH THIS REQUIREMENT. THE BUILDING OFFICIAL SHALL BE NOTIFIED IN WRITING AT THE FINAL INSPECTION THAT THE PERMANENTLY INSTALLED LIGHTING FIXTURES HAVE MET THIS REQUIREMENT EXCEPT: TWO PERMANENTLY INSTALLED FIXTURES ARE NOT REQUIRED TO HAVE HIGH-EFFICIACY LAMPS

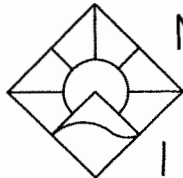
INTERMEDIATE FRAMING FOR EXTERIOR WALLS

- 1) WALLS SHALL BE FRAMED W/ 2" X 6" STUDS @ 16" O.C.
- 2) CORNERS & INTERSECTIONS W/ EXTERIOR WALLS & CEILING CORNERS SHALL BE FULLY INSULATED THROUGH THE USE OF THREE-STUD CORNERS CONFIGURATED TO ALLOW FULL INSULATION INTO THE CORNER, OR 2 STUD CORNERS & DRYWALL BACKUP CLIPS OR OTHER APPROVED TECHNIQUES.
- INTERSECTIONS OF INTERIOR PARTITION WALL W/ EXTERIOR WALLS SHALL BE FULLY INSULATED THROUGH THE USE OF SINGLE BACKER BOARDS, MID-HEIGHT BLOCKING W/ DRYWALL CLIPS OR OTHER APPROVED TECHNIQUE.
- 3) HEADERS
- ALL HEADERS ON EXTERIOR WALLS LESS THAN FULL DEPTH OF WALL SHALL HAVE RIGID INSULATION EQUAL TO R-4 FOR EACH 1" OF THICKNESS LESS THAN FULL DEPTH.



STRONG CORNER DETAIL

SCALE: NOT TO SCALE



Morgan Soller Designs
Seaside, Or 97138
12/20/20223

Notes/Revisions:

MARK & SANDRA WARD "ADU"
207 E MONROE
CANNON BEACH, OR 97110

Scale:
3/16"= 1'

Sheet:

7/7

Drawn by: Morgan Soller

Robert St. Clair

From: almoker ward <mkward121@hotmail.com>
Sent: Friday, April 26, 2024 9:53 AM
To: Robert St. Clair
Subject: Fwd: DRB 24-12 Completeness Determination

Follow Up Flag: Follow up
Flag Status: Flagged

Sent from my iPhone

Begin forwarded message:

From: mark ward <mkward61@gmail.com>
Date: April 26, 2024 at 9:41:06 AM PDT
To: Mark Ward <mkward121@hotmail.com>
Subject: Re: DRB 24-12 Completeness Determination

Thanks for the update, the only exterior lighting will be on the west side at the front of the house. It will be two 6" recessed can lights in the soffit of the "eyebrow" roof similar to the main house. These provide down lighting and do not shine out ward. The ADU will be in very the same foot print as the existing building and any shrubbery at the front of the front of the house will be replaced with roses and azaleas. In your letter it says the city has 120 days to exhaust all local review, and that period ends on 8/23. Does that mean I can't get a building permit before then if there are no objections? Thanks hope this helps.

On Apr 26, 2024, at 9:30 AM, almoker ward <mkward121@hotmail.com> wrote:

Sent from my iPhone

Begin forwarded message:

From: "Robert St. Clair" <stclair@ci.cannon-beach.or.us>
Date: April 25, 2024 at 11:14:31 AM PDT
To: Mark Ward <mkward121@hotmail.com>
Subject: DRB 24-12 Completeness Determination

Good Morning,

Attached is a completeness determination for your recent ADU application that will be heard by the Design Review Board during its May hearing. If you have any additional information about landscaping or exterior light fixtures that may be helpful.

Regards,

Robert

Robert St. Clair

Planner

City of Cannon Beach

p: 503.436.8053 | tty: 503.436.8097 | f: 503.436.2050

a: 163 E. Gower St. | PO Box 368 | Cannon Beach, OR 97110

w: www.ci.cannon-beach.or.us | e: stclair@ci.cannon-beach.or.us

DISCLOSURE NOTICE: Messages to and from this email address may be subject to Oregon Public Records Law.

<image001.png><240425 DRB 24-12 Completeness Letter.pdf>



MONROE STREET

SPRUCE STREET

DRIVEWAY

SITE PLAN

SCALE: 1/8" = 1'-0"

LOT SIZE: 5000 SQ FT
FIRST FLOOR: 953 SQ FT
SECOND FLOOR: 1265 SQ FT
TOTAL LIVING FOOTPRINT: 2218 SQ FT
PORCHES/DECKS: 176 SQ FT
GARAGE: 312 SQ FT
LOT COVERAGE: *(PATIOS/DRIVEWAYS)
 $(\frac{953}{5000}) + (\frac{1265}{5000}) = \text{LOT COVERAGE}$
 $(.3864 + .1056) = 49\%$
FAR: $(953 + 1265 + 312 + 462) = \frac{2992}{5000} = 59.8\%$

EXISTING HOUSE

GARAGE

EXISTING ADU

PROPOSED NEW ADU

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

40" CEDAR TO BE REMOVED FOR PARKING
30" CEDAR TO BE REMOVED FOR PARKING

20" PINE TO BE REMOVED

SEWAGE

WATER

PROPERTY LINE

Drawn by: Morgan Soller

Notes/Revisions:
May 4th 2024

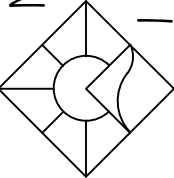
MARK & SANDRA WARD "ADU"
207 E MONROE
CANNON BEACH, OR 97110

Scale:
1/8" = 1'

Sheet:

3/7

Morgan Soller Designs
Seaside, Or 97138
12/20/20223





CANNON BEACH COMMUNITY DEVELOPMENT

163 E. GOWER ST.

PO Box 368

CANNON BEACH, OR 97110

April 25, 2024

Mark Ward
P.O. Box 116
Cannon Beach, OR 97110

RE: Completeness Determination for Design Review at 207 E. Monroe St. (File: DRB 24-12)

Dear Mr. Ward:

Your application for Design Review of for a new accessory dwelling unit at 207 E. Monroe St. was received on April 16, 2024 and found to be complete on April 25th. The City has 120 days to exhaust all local review, that period ends on Friday, August 23, 2024. The first evidentiary hearing for this application will be held on Thursday, May 16, 2024 at 6:00pm, you may participate in person or by Zoom.

The materials received with this application include:

- Design Review application
- Design schematics

Please be aware that the determination of a complete application is not a decision or a guarantee of outcome for the application.

Please feel free to contact my office at (503) 436-8053, or by email at stclair@ci.cannon-beach.or.us if you have questions regarding this application matters.

Sincerely,

Robert St. Clair
Planner

Exhibit D-1

Robert St. Clair

From: Melissa Cadwallader <melissa.cadwallader@gmail.com>
Sent: Monday, May 6, 2024 8:12 AM
To: Planning Group
Cc: Bill Kramer; Mark Ward
Subject: RE: DRB24-12

Follow Up Flag: Follow up
Flag Status: Flagged

Cannon Beach Design Review Board,
My Husband, Bill Kramer, and I support Mark and Sandy Ward property owners' request to demolish a non-conforming building and replace it with an Accessory Dwelling Unit (ADU) at 207 E. Monroe St, Cannon Beach, Oregon.

The little red cottage will remain in the memory of the neighbors.
Melissa Cadwallader

Sent from my iPad



CITY OF CANNON BEACH

April 25, 2024

Dear Property Owner:

DRB 24-12, Mark and Sandy Ward, property owner, to demolish old non-conforming building and replace it with an Accessory Dwelling Unit (ADU). The property is located at 207 E Monroe St. (Taxlot 02200, map 51029BC) in a Residential Medium Density (R2) zone. The application will be reviewed against the criteria of Municipal Code, Chapter 17.44.080 – 17.44.100, Design Review Criteria.

The Cannon Beach Municipal Code requires notification to property owners within 100 feet, measured from the exterior boundary, of any property which is the subject of an application for a design review approval. Your property is located within 100 feet of the above-referenced property.

Please note that you may submit a statement either in writing or orally at the hearing, supporting or opposing the proposed action. Your statement should address the pertinent criteria, as stated in the hearing notice. Statements in writing must be received by the date of the hearing.

A copy of a description of how public hearings are conducted is enclosed along with a public hearing notice and a map showing the location of the subject property. Should you need further information regarding the relevant Zoning Ordinance or Comprehensive Plan criteria, please contact Cannon Beach City Hall at the address below, call me directly at (503) 436-8054, or email pfund@ci.cannon-beach.or.us.

Sincerely,

Tessa Pfund
Community Development Administrative Assistant

Enclosures: Notice of Hearing
 Conduct of Public Hearings
 Map of Subject Area

**NOTICE OF PUBLIC HEARING
CANNON BEACH DESIGN REVIEW BOARD**

The Cannon Beach Design Review Board will hold public hearing on **Thursday, May 16, 2024, at 6:00 p.m.** at Cannon Beach City Hall, 163 East Gower Street, Cannon Beach, regarding the following:

DRB 24-12, Mark and Sandy Ward, property owner, to demolish old non-conforming building and replace it with an Accessory Dwelling Unit (ADU). The property is located at 207 E Monroe St. (Taxlot 02200, map 51029BC) in a Residential Medium Density (R2) zone. The application will be reviewed against the criteria of Municipal Code, Chapter 17.44.080 – 17.44.100, Design Review Criteria.

All interested parties are invited to attend the hearing and express their views. Statements will be accepted in writing or orally at the hearing. Failure to raise an issue at the public hearing, in person or by letter, or failure to provide statements or evidence sufficient to afford the decision maker an opportunity to respond to the issue precludes appeal to the Land Use Board of Appeals based on that issue.

Correspondence should be mailed to the Cannon Beach Design Review Board, Attn. Community Development, PO Box 368, Cannon Beach, OR 97110 or via email at planning@ci.cannon-beach.or.us. Written testimony received one week prior to the hearing will be included in the Design Review Board's meeting materials and allow adequate time for review. Materials and relevant criteria are available for review at Cannon Beach City Hall, 163 East Gower Street, Cannon Beach, or may be obtained at a reasonable cost. Staff reports are available for inspection at no cost or may be obtained at a reasonable cost seven days prior to the hearing. Questions regarding the applications may be directed to Steve Sokolowski, 503-436-8040, or at sokolowski@ci.cannon-beach.or.us.

The Design Review Board reserves the right to continue the hearing to another date and time. If the hearing is continued, no further public notice will be provided. The hearings are accessible to the disabled. Contact City Manager, the ADA Compliance Coordinator, at (503) 436-8050, if you need any special accommodations to attend or to participate in the meeting. TTY (503) 436-8097. Publications may be available in alternate formats and the meeting is accessible to the disabled.



Steve Sokolowski
Community Development Director

Posted/Mailed: **April 25, 2024**

NOTICE TO MORTGAGEE, LIEN-HOLDER, VENDOR OR SELLER:
PLEASE PROMPTLY FORWARD THIS NOTICE TO THE PURCHASER

CONDUCT OF PUBLIC HEARINGS BEFORE DESIGN REVIEW BOARD

- A. At the start of the public hearing, the Design Review Board Chair will ask the following questions to ensure that the public hearing is held in an impartial manner:
1. Whether there is a challenge to the jurisdiction of the Design Review Board to hear the matter;
 2. Whether there are any conflicts of interest or personal biases to be declared by a member of the Board;
 3. Whether any member of the Design Review Board has had any ex parte contacts.
- B. Next, the Design Review Board Chair will make a statement which:
1. Indicates the criteria which apply to the action;
 2. Cautions those who wish to testify that their comments must be related to the applicable criteria or other criteria in the Comprehensive Plan or Municipal Code that the person testifying believes apply;
 3. States that failure to raise an issue in a hearing, or failure to provide statements or evidence sufficient to afford the decision makers an opportunity to respond to the issue precludes appeal based on that issue;
 4. Prior to the conclusion of the initial evidentiary hearing, any participant may request an opportunity to present additional evidence or testimony regarding the application. The Design Review Board shall grant such request by continuing the public hearing or leaving the record open for additional written evidence or testimony.
- C. The public participation portion of the hearing will then proceed as follows:
1. Staff will summarize the staff report to the extent necessary to enable those present to understand the issues before the Design Review Board.
 2. The Board members may then ask questions of staff.
 3. The Design Review Board Chair will ask the applicant or a representative for any presentation.
 4. The Design Review Board Chair will ask for testimony from any other proponents of the proposal.
 5. The Design Review Board Chair will ask for testimony from any opponents of the proposal.
 6. Staff will be given an opportunity to make concluding comments or respond to additional questions from Board members.
 7. The Design Review Board Chair will give the applicant and other proponents an opportunity to rebut any testimony of the opponents.
 8. Unless continued, the hearing will be closed to all testimony. The Board will discuss the issue among themselves. They will then either make a decision at that time, or continue the public hearing until a specified time.

NOTE: Any person offering testimony must first state their name, residence and **mailing address** for the record. If representing someone else, the speaker must state whom he represents.



DRB 24-12 Mailing List

TAXLOTKEY	SITUS_ADDR	OWNER_LINE	STREET_ADD	PO_BOX	CITY	STATE	ZIP_CODE	AREA	YEAR_BUILT
51029BC01101	648 Spruce St	Bruton David C	PO Box 1280	1280	Cannon Beach	OR	97110-1280	2160	1950
51029BC01103	198 E Monroe St	Groves Thomas E	20630 Harper Rd		Bend	OR	97703	2400	1948
51029BC01104	194 E Monroe St	Thompson Terrence N/Maureen E	3713 E Pike St		Seattle	WA	98122-3451	7440	1955
51029BC01200	208 E Monroe St	Khazoyan Louis Ben	500 Columbia St NW #420		Olympia	WA	98501	5000	2021
51029BC01300	216 E Monroe St	Balzer Arthur Colleen Rev Liv Trust	PO Box 564	564	Cannon Beach	OR	97110	5000	1972
51029BC01400	232 E Monroe St	Wescott Ross	18463 Nixon Ave		West Linn	OR	97068-1529	5000	1993
51029BC02200	207 E Monroe St #A	Ward Mark C	PO Box 116	116	Cannon Beach	OR	97110	5000	2019
51029BC02300	215 E Monroe St	Webster Lane S	PO Box 721	721	Cannon Beach	OR	97110	5000	1996
51029BC02400	231 E Monroe St	Shelton Michael G Trustee	7603 S Rosemary Cir		Centennial	CO	80112	5000	1977
51029BC02500	239 E Monroe St	MJS Farm Ltd	5200 SW Barnes Rd		Portland	OR	97221	5000	1993
51029BC03100	264 E Jackson St	Hutchins John R	3006 Fuhrman Ave E		Seattle	WA	98102-3810	10000	2007
51029BC03200	216 E Jackson St	Martin Murrelet LLC	6550 SW 63rd Ave		Portland	OR	97221	5000	1917
51029BC03201	232 E Jackson St	Morgan Michael D	PO Box 132	132	Cannon Beach	OR	97110-0132	5000	1924
51029BC03300	208 E Jackson St	Cadwallader & Kramer Family Trst	5455 Shafter Ave		Oakland	CA	946118	5000	1948
51029BC03400	191 E Monroe St	Brown Zane A	1103 20th Ave E		Seattle	WA	98112	7000	2020
51029BC03500	197 E Monroe St	Flagel Jeffrey M Living Trust	2303 NW 192nd Pl		Shoreline	WA	98177	2500	1935
51029BC03600	780 Spruce St	Foster Kenneth A	475 Montgomery St		Napa	CA	94559	2500	1930
51029BC03700	194 E Jackson St	Vetsch Paul A	7783 SE Dolinda St		Milwaukie	OR	97267	4624	1925
51029BC03701	194 E Jackson St	Vetsch Betty Jo	1907 Wetherbee Dr		Grants Pass	OR	97527	3876	0